



Harvey
Planning
Consulting

NOTICE OF REVIEW STATEMENT OF CASE

Description of Development:

Change of use of from Class 4 (Business) to form 24no. affordable flats, including formation/replacement of door formation of windows: installation of cladding, and alterations to car park and garden ground with associated works including boundary treatments, bin store and landscaping

Application Reference:

250202/DPP

Appeal Site:

Loirston House, 102 Wellington Road, Aberdeen, AB12 3BH

Appellant:

CTL Estates

August 2025

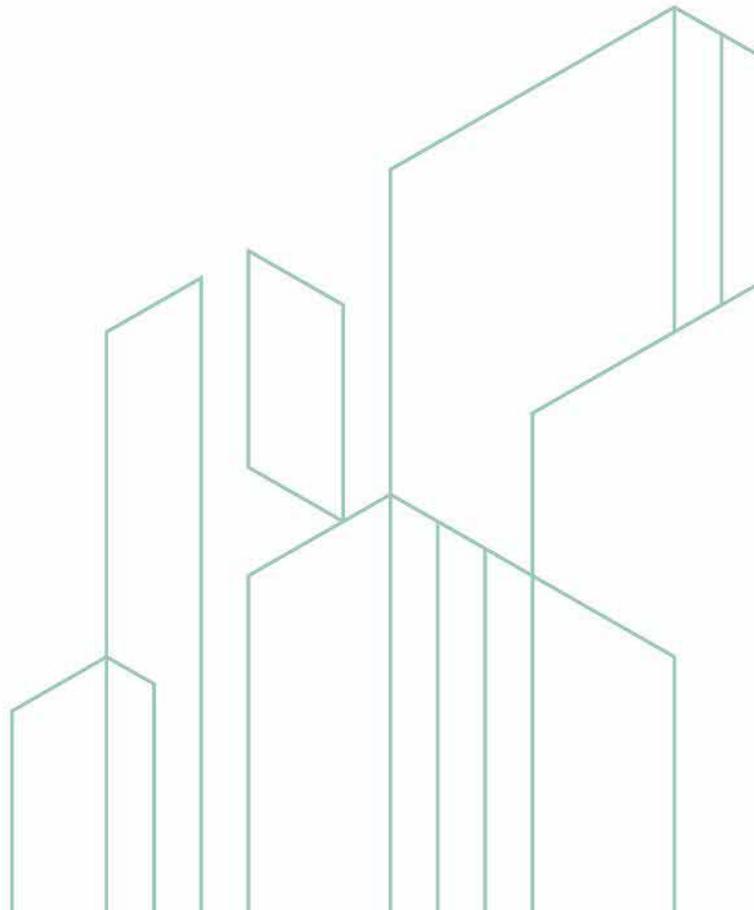


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Document Control

Rev	Title	Date	Signed
V1	Notice of Review Statement of Case	25 July 2025	HH
V2	Notice of Review Statement of Case	30 July 2025	HH

1. Introduction

- 1.1 This Notice of Review appeal is made on behalf of CTL Estates ('the appellant') under section 43A of the Town and Country Planning (Scotland) Act 1997 to review the Planning Authority's decision to refuse planning permission for the development described below. The appeal site relates to the vacant office building and curtilage located at Loirston House, 102 Wellington Road, Aberdeen, AB12 3BH.

Description of Development: *Change of use of from Class 4 (Business) to form 24no. affordable flats, including formation/replacement of doors, formation of windows: installation of cladding, and alterations to the car park and garden ground with associated works including boundary treatments, bin store and landscaping.*

- 1.2 The planning application was submitted on 28 February 2025 and validated on 4 March 2024 under reference: 250202/DPP. It was subsequently refused under delegated powers on 5 June 2025. This decision was made despite the proposal receiving clear support from Aberdeen City Council's (ACC) Housing Strategy Team due to its contribution toward addressing an identified strategic housing need. Notably, no objections were raised by any internal or external statutory consultees.

- 1.3 Based on our review of the Decision Notice, there are four key reasons for refusal, the key headlines of which are listed below:

1. **Principle of Development in the business and industry zone** (Aberdeen Local Development Plan (ALDP) Policy B1)
2. **Residential amenity and placemaking** (National Planning Framework 4 (NPF4) Policies 14 and ALDP Policies D1, D2 and WB1)
3. **Pedestrian accessibility** (NPF4 Policies 13 and 15)
4. **Housing on unallocated land** (NPF4 Policy 16)

- 1.4 This Notice of Review Statement of Case provides considered justification to demonstrate: (1) the proposal would not result in any land use conflict with the B1 Business and Industry zone; (2) it would create a high quality place and pleasant residential environment; (3), it would enhance pedestrian connectivity and integrate with an existing 20 minute neighbourhood; and (4) it would be an appropriate location for affordable and specialist provision housing (despite not being allocated in the ALDP). In addition to addressing the concerns raised in the reasons for refusal, the statement will also set out in full the key benefits that will come about from the scheme, which are summarised as follows:

Delivers much-needed affordable specialist provision housing: The proposed development will deliver 100% affordable housing, including wheelchair-accessible units at ground floor level. The homes have been specifically designed for ancillary specialist provision accommodation, aimed at meeting the needs of individuals with bariatric conditions, mental health challenges, and/or learning disabilities. The proposed tenure and specialist

nature of the accommodation were agreed in close collaboration with ACC’s Housing Strategy Team and the Aberdeen City Health and Social Care Partnership (ACHSCP) well in advance of the planning application, with the project formally recognised within the Strategic Housing Investment Plan (SHIP) since at least 2024. The proposed house tenure directly addresses a critical and well-evidenced gap in Aberdeen’s current housing provision in accordance with the principles of NPF4 Policy 16 and ALDP Policies H4 and H5. Given its potential to reduce delayed hospital discharges and support independent living, the development offers clear health and social care benefits that should be given substantial weight in the overall planning assessment.

Reuse and regeneration of long-term vacant building: The proposal will support the reuse and revitalisation of an office block that has had no interest in use as an office since it was vacated in September 2016 by Total E&P. This is despite site having been actively marketed for Class 4 uses for almost a decade. Bringing the building back into an active use supports NPF4 Policy 9 principles of encouraging the sustainable reuse of empty buildings and will conserve embodied energy by avoiding demolition in accordance with NPF4 Policies 1 and 2 and ALDP Policy R6. If this appeal is dismissed, the only other viable option would be to demolish the building in accordance with the existing demolition warrant (reference: 240701). The appellant cannot indefinitely sustain the major financial setback of continued vacant office rates and holding costs. It is therefore absolutely critical that this appeal succeeds to avoid the loss of the building and the consequential release of embodied carbon, which goes against the policy intent of NPF4 Policy 9.

Biodiversity enhancement: The proposal will deliver meaningful biodiversity enhancements around the existing building footprint and will reduce the overall existing hard surface coverage. This approach aligns with the aims of NPF4 Policy 3, which promotes the enhancement of biodiversity through development.

15 This statement comprehensively rebuffs the Council’s reasons for refusal outlined in the Decision Notice and demonstrates how the proposal accords with the ALDP and NPF4 in all respects. Therefore, the proposal is an appropriate form of development in this location and one which is worthy of support.

16 The full list of supporting documentation accompanying this appeal is set out below:

Appendix 1: Comments from NHS Grampian, Audrey Nicoll MSP and Stephen Flynn MP

Appendix 2: Relevant Correspondence Between Applicant and ACC Housing Strategy Team

Appendix 3: Strategic Housing Investment Plans

Appendix 4: Precedent Planning Decision (Former Banks O’ Dee Nursing Home)

Appendix 5: NPF4 and ALDP Policy Extracts

Appendix 6: Housing Demand, Health and Land Supply Supporting Information

- 17 The full list of planning application material from 250202/DPP that is included with this Notice of Review appeal, is listed subsequently. The dates noted in brackets refer to the dates the material was lodged.

Application Form (28 February 2025)
Photo 1 (Site Photo) (28 February 2025)
Location Plan (28 February 2025)
Existing Elevations (28 February 2025)
Existing First Floor Plan (28 February 2025)
Existing Ground Floor Plan (28 February 2025)
Existing Site Plan (28 February 2025)
Design and Access Statement (28 February 2025)
Proposed First Floor Plan (28 February 2025)
Marketing Statement (7 April 2025)
Tree Protection Management drawing (24 April 2025)
Arboricultural Assessment Drawing (24 April 2025)
Arboricultural Impact Assessment Drawing (24 April 2025)
Swept Path - Fire Truck (24 April 2025)
Swept Path - Refuse Truck (24 April 2025)
Travel Plan Framework (24 April 2025)
Tree Survey Report (24 April 2025)
Noise Impact Assessment (25 April 2025)
Proposed Fence Type C - 1800mm Hit-and-Miss Fence (1 May 2025)
Proposed Fence Type B - 1800mm Close Boarded Fence (1 May 2025)
Proposed Fence Type A - 2000mm Close Boarded Fence (1 May 2025)
Proposed Ground Floor Plan (8 May 2025)
Proposed Site Plan (8 May 2025)
Proposed Waste Bin Enclosure - 1500mm (8 May 2025)
Supporting Planning Statement (14 May 2025)
Proposed Elevations (14 May 2025)
Landscaping Plan (19 May 2025)
Report of Handling (5 June 2025)
Decision Notice (5 June 2025)

2. Site Overview

Site Location

- 2.1 The appeal site measures ~3,120m² and comprises the vacant two storey office building and associated curtilage, previously known as Loirston House. It is situated in a mixed use area on the western periphery of Altens Industrial Estate, ~3km to the south of Aberdeen City Centre.
- 2.2 The appeal site is located just south of the Wellington Road / Hareness Road / West Tullos Road roundabout junction. The site is bound to the north by natural/semi-natural greenspace (as identified in the Open Space Audit) owned by Aberdeen City Council. To the east, the site is adjoined by Altens Lorry Park and a vacant hardstand pad that was formerly occupied by the Lauries Hotel building (prior to being demolished in 2014). To the south, the site is adjoined by the residential property of Kimberley House, as well as additional natural/semi-natural greenspace. Lastly, the site is bordered to the west by the dual carriageway of Wellington Road (A956).
- 2.3 The location of the site in relation to the immediate surrounding area is shown in the map below:



Figure 1: Site location map (Source: Google Earth)

Accessibility

- 2.4 The site benefits from a high level of accessibility due to its strategic position on the south-eastern corner of the Wellington Road (A956) and Hareness Road roundabout, with direct left-in/left-out access and footpath connections to Wellington Road. This access arrangement enables safe and efficient entry and exit to the site and will be retained as part of the proposed change of use scheme. Wellington Road is a key arterial road and public transport corridor, which provides frequent bus services every ~20 minutes to the city centre (via bus routes 13 and 727). It is noted that the 727 bus route provides hourly services directly to Aberdeen Airport. The nearest bus stop is the Redmoss Park bus stop ~230m south of the site in front of the Shell Gas Station.

Zoning and Designations

- 2.5 Pursuant the ALDP, the appeal site and wider Altens Industrial Estate to the east is situated in the Business & Industry (B1) zone (refer to Figure 2). The site is not located near any national or local natural heritage designations, nor is it within vicinity of any designated heritage assets. Per SEPA flood maps, the site is not affected by flooding.



Figure 2: ALDP 2023 Zoning map (Source: ALDP)

Land Use Context

2.6 While the site is in the Business & Industry Zone, the surrounding areas to the north, south and west is characterised by a mix of non-employment land uses, as described in Table 1 below. Per the table below, many of these non-employment land uses front Wellington Road and are located within the same B1 zone. This diversity of land uses on the periphery of Business and Industry zoned land is not uncommon, particularly adjacent highly accessible arterial routes such as Wellington Road.

North	Land 70m to the north of Hareness Road contains the Aldi supermarket, which replaced the former Amec office building (application reference: 210114/DPP). Further north is the former Shell Tullos Complex which is currently being partially demolished to make way for a new EV charging hub with ancillary shop (Class 1A) (application reference: 241137/DPP). These non-employment uses are all located in the B1 Business and Industry zone. Less than 400m to the north is the Cat Cairn and Tullos Wood Nature preserve, which is within a convenient walking distance of the site via the footpath along Altens Farm Road.
South	A series of three detached residential properties (including the Loirston House) are located to the south of the appeal site, all of which are in the B1 Business and Industry zone. Further south is the Shell Gas Station (sui generis), also a non-employment use in the B1 Business and Industry zone. Land 800m to the south-west of the site is the Wellington Circle Retail Park, which comprises large format Class 1A retail uses (Ikea and Makro), a Puregym (Class 11), another Shell Gas Station (sui generis) and a series of drive-thru food and drink outlets (sui generis), all of which are in the B1 Business and Industry zone. Behind this retail park is the existing Cove Rangers FC Sports Facility (Class 11) which comprises a series of outdoor football pitches, the Get Active Lochside gym and Soccer Stars Academy. 800m –1.5km to the south-east of the site is the Altens Community Centre, the Altens Health Club (gym) and the Cove Bay Health Centre.
East	To the east of the site is the wider Altens Industrial Estate, which comprises a range of office buildings and dilapidated industrial units. This estate forms part of the Energy Transition Zone (ETZ) Masterplan. Under the ETZ Masterplan, there are no specific plans for the site or adjoining land.
West	Land to the west of the site on the opposite side of Wellington Road is within the Residential (R1) zone and comprises the Redmoss residential area. This residential area comprises a mix of non-residential uses including the Wellington Pub, Police Scotland Station (Nigg), Nigg Parish Church, Little Clouds Nursery and a series of smaller shops and services (e.g. barber and tax accountant). Further west along West Tullos Road is the Kincorth Hill Local Nature Reserve and the residential area of Kincorth. There are a variety of amenities and services within Kincorth, including a medical centre, library, community centre, primary school, gym and shops; these uses are all within an 8 minute bus or 19 minute walk of the site.

Table 1: Site Context

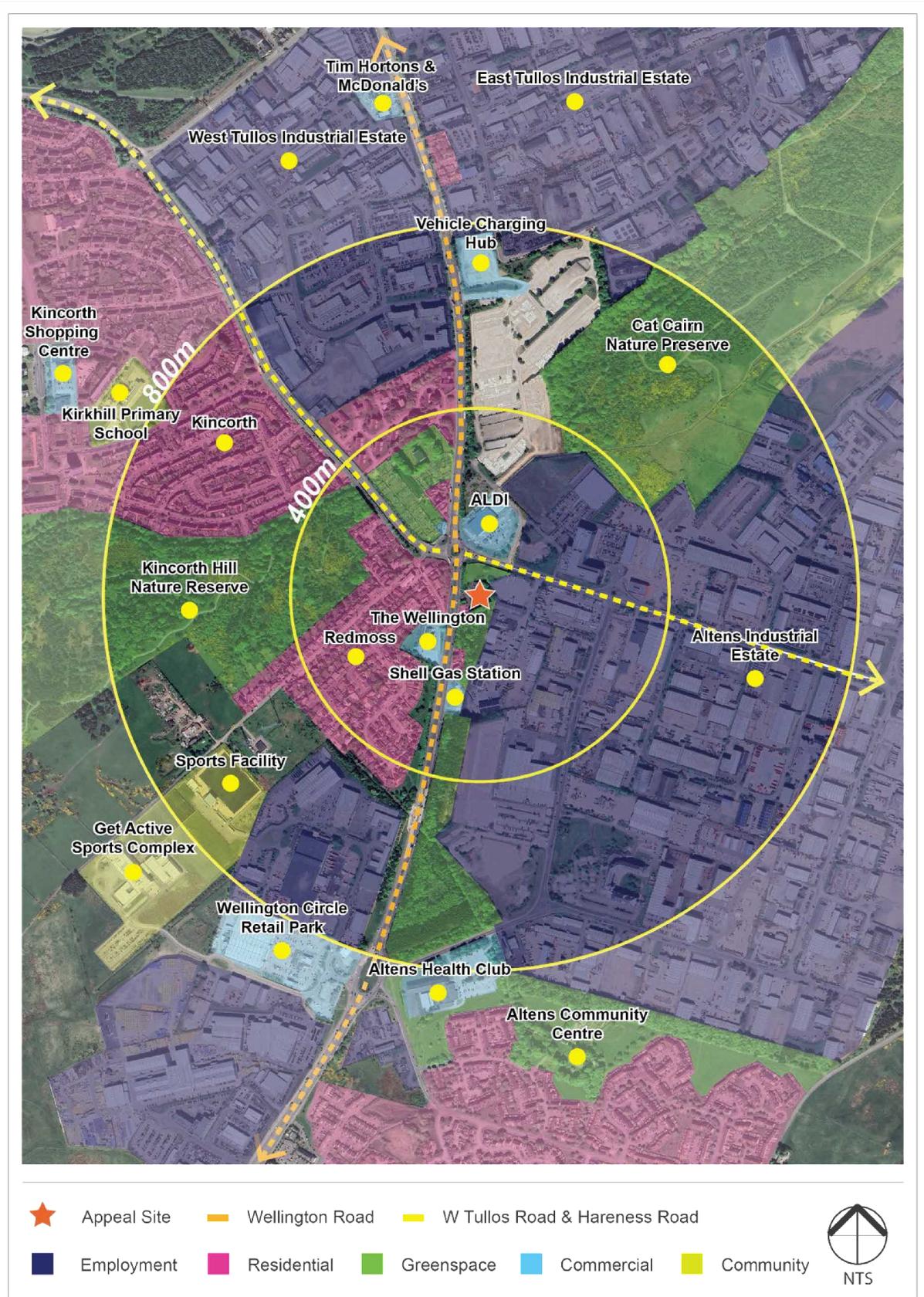


Figure 3: Surrounding land uses (Source: Google Earth)

- 2.7 Considering the ancillary specialist provision nature of the use, it is important to note that the site is within 20 minutes of a variety of medical centres and hospitals. Specifically, the Albyn Hospital is located just a 10 minute drive from the site, Woodend Hospital is within a 17 minute drive and the Aberdeen Royal Infirmary within an 18 minute drive. Kincorth Medical Centre is located an 8 minute bus / drive or 19 minute walk from the site, Cove Bay Health Centre is located within a four minute drive and 24 minute walk of the site.
- 2.8 Overall, the site’s strategic location in a mixed use neighbourhood and position directly adjacent the arterial corridor of Wellington Road (which provides convenient access to Aberdeen City Centre to the north), makes it an excellent location for the proposed affordable specialist living accommodation. The site’s accessibility to a range of services, amenities and facilities required for daily living accords with the NPF4 principles of 20 minute neighbourhoods.

Existing Site Features

- 2.9 Loirston House is a vacant office building constructed in the late 20th century, featuring a ‘T’-shaped building footprint with open-plan office space arranged over two storeys. The building is constructed to a robust and durable standard with a steel frame and reinforced concrete structure that is well-suited for repurposing to support the proposed use.
- 2.10 The building has remained largely unoccupied since it was vacated by Total E&P in September 2016—following the significant downturn in the Oil and Gas sector triggered by the 2014/15 collapse in oil prices. Despite sustained efforts by the landowner to market the property for Class 4 use since that time, no new tenant has been secured.
- 2.11 Externally, the site features 64 car parking spaces, which includes an undercroft car park underneath the south-western wing of the building. Mature tree belts border the eastern, southern and western boundaries of the site. This existing planting provides an attractive streetscape outcome and buffers / screens the site from the adjoining industrial uses to the east. These existing tree belts will be retained.

Planning History

- 2.12 The planning application history associated with Loirston House is tabulated below. None of these applications affect the appeal.

Application reference	Description of the Development	Decision	Decision Date
P101502	Erection of perimeter security fence and gate, installation of cctv cameras, smoking shelter and cycle stands	Approved	14/10/2010

P1018 26	Erection of 1 No.non-illum inated freestanding V shaped sign at entrance	Approved	26/11/2010
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Table 2: Planning history associated with the site

2.13 On 20 September 2024, the appellant obtained a demolition warrant (building warrant reference: 240701). The appellant cannot sustain the significant financial setback of vacant rates and holding costs. Therefore, this demolition is required as a fallback position if the proposed opportunity to positively reuse the building for combined affordable housing and specialist living accommodation falls through.

3. Proposal Overview

- 3.1 Detailed planning permission is sought for change the use of the former office building to form 24 affordable residential flats, with associated alterations to the external appearance of the building, car parking, bin store, boundary treatments and landscaping.

Land Use

- 3.2 The proposed development comprises 100% affordable housing to be operated by a Registered Social Landlord (RSL). The proposal will be used as mainstream affordable flats (sui generis), as applied for and clearly expressed within the application description. An RSL will be secured once planning permission has been granted and there is certainty that the development will proceed, as acknowledged in the ACC Housing Strategy Team comments.
- 3.3 While general needs affordable housing is the main land use, all the flats are designed to include a level of specialist provision accommodation for those with a disability or long-term health condition such as individuals with mental health conditions and/ or learning disabilities. The nine (9) flats on the ground floor are specifically intended to provide wheelchair accessible specialist provision accommodation for individuals with bariatric conditions. As set out in the Planning Statement, the specialist provision aspect would be limited to ad-hoc care and does not necessitate on-site specialist care facilities or permanent care staff. Accordingly, this specialist provision component will be ancillary to the primary use of the development as general affordable flats (sui generis) and the proposal does not constitute a Class 8 use. As set out in the Design and Access Statement, the flats on the first floor have also been designed with flexibility for ancillary specialist provision use. It is noted that the provision of care for residents in residential properties is a common feature and is in fact included within the Use Class definition for Class 9 (houses), which is not dissimilar to flats (sui generis).

Layout

- 3.4 As outlined in the Design and Access Statement submitted with the planning application, the existing office building and its associated curtilage were originally designed with future adaptability in mind, allowing for a range of potential future land uses. As such, the existing building and curtilage are well-suited for a swift and efficient conversion to residential use with minimal structural intervention and external modifications required.
- 3.5 The proposed physical works are principally intended to optimise the reuse of the existing vacant building as a valuable brownfield asset, with the aim of maximising its potential to deliver much needed affordable housing. In addition, external works proposed are intended to enhance the site's overall suitability for residential use, while

also minimising the existing level of hardstand, and increasing the quality of green space around the building for outdoor recreation and biodiversity enhancement.

3.6 The limited works required to the existing building and site layout are summarised as follows:

- Infill of the ground floor undercroft carpark to provide three flats;
- Reclad building elevations with white drydash (ground floor) and rockpanels (first floor), plus new windows and doors for acoustic amenity;
- Reduction in size of carpark from 64 spaces to 26 spaces (including two disabled bays);
- Installation of boundary treatments (e.g. close-board fencing and hedgerows between private gardens);
- Biodiversity and landscape planting around existing outdoor open spaces to enhance the overall natural character of the site; and
- Felling of two trees (Norway Maples) to increase natural light on the eastern side of the building.



Figure 4: Proposed Site Plan showing that there will be minimal external works required other than to reduce the overall level of hardstanding (Source: Bradley Craig Architects)

- 3.7 Internally, the nine (9) ground floor flats will be spacious wheelchair accessible one-bedroom dwellings with a kitchen, living room, accessible wet room and utility store. On the first floor, there will be 14 one-bedroom flats and one two-bedroom flat. Community facilities / storage rooms are provided on both levels, which includes bicycle parking racks for 26 bicycles.

Scale and Appearance

- 3.8 The proposal does not involve an increase in building bulk or scale as the proposed works are limited to holding fabric of the existing building footprint. Works to the existing building elevations are relatively minor in nature and are purely intended to refresh the existing tired building elevations and uplift the overall appearance of the site, particularly when viewed from Wellington Road. As set out in the Design and Access Statement, the proposed change of use scheme meets six qualities of successful places set out under NPF4 Policy 14. Figure 5 shows the proposed front building elevation (southwest elevation).



Figure 5: Proposed Southwest Elevation (Source: Bradley Craig Architects)

Landscape and Biodiversity Planting

- 3.9 A Biodiversity Landscaping Plan was lodged in support of the planning application to demonstrate the proposed landscape and biodiversity planting strategy for the proposed development. Per the Biodiversity Landscaping Plan, the proposal will retain the existing mature belts surrounding the site and supplement this with 15 native trees, shrubs / hedgerows, and a mix of wildflower and amenity grass around the building.
- 3.10 The proposed increase in landscape planting, together with the reduction in hardstanding, will help create a high-quality and attractive living environment for future residents. The planting strategy has also been designed to increase the visual and natural buffer between the development, Wellington Road, and the adjacent industrial use to the east. As acknowledged in the Report of Handling, the wider soft-landscaping scheme would soften and enhance the visual amenity of the site, particularly when compared with the existing situation.

- 3.11 A new close-boarded timber boundary fence is proposed to be erected along the mutual boundary with Kimberley House to the south, ensuring the privacy of the existing dwelling would not be affected by the new use and its current level of amenity would be largely unaffected (as agreed in the Report of Handling). Close-board fencing is also proposed along the north-eastern boundary of the site adjacent the existing 2.4m blockwork wall (to be retained). This close-board fence together with the existing blockwork wall will provide a continuous barrier between the proposal and the hardstand pad to the east (former Lauries Hotel site).
- 3.12 Importantly, the landscape planting strategy will deliver a significant biodiversity enhancement for the site, particularly given the proposal seeks to reuse rather than demolish and redevelop the existing building, which preserves embodied energy and promotes a highly sustainable development outcome. As confirmed by the Report of Handling, the proposed landscape and biodiversity enhancement scheme accords with the requirements of Policies D5 and NE5 of the ALDP and Policies 3 and 6 of NPF4.

Access, Parking and Bin Storage

- 3.13 The proposal will take access off Wellington Road via the existing left-in/left-out access. The Report of Handling confirms that the existing left-in/left-out vehicular access to the site is acceptable given the dual carriageway and would allow for emergency vehicles and bin lorries to enter and exit the site in a forward gear with no road or pedestrian safety concerns.
- 3.14 In terms of car parking, the proposed development provides 26 car parking spaces, including two disabled bays and one EV charging point. This represents a significant reduction in hardstand area by 38 car parking spaces. The proposed car parking arrangement is confirmed by the Report of Handling to be acceptable and compliant with Policy T3 of the ALDP and the Transport & Accessibility Aberdeen Planning Guidance.
- 3.15 The proposal provides a dedicated bin storage area adjacent the car park that is large enough to accommodate five 1280L general waste and mixed recycling bins, and one food waste container. The swept path analysis drawing lodged in support of the planning application demonstrates that a bin lorry would be able to enter the site, collect the bins, and exit the site in a forward gear. As such, the proposal complies with NPF4 Policy 12 and ALDP Policy R5, as confirmed in the Report of Handling.
- 3.16 Notably, Aberdeen City Council (ACC) Roads Development Management Team and Waste and Recycling Services raised no objections to the site access, traffic generation, car parking and waste servicing arrangements of the proposal.

4. Planning Policy Context

4.1 Sections 25 and 37(2) of the Town and Country Planning (Scotland) Act 1997 require that all applications for planning permission be determined having regard to the development plan unless so far as material to the application, and to any other material considerations. NPF4 together with the ALDP form the development plan for the appeal. This section sets out the applicable components of the development plan and other material considerations relevant to the assessment and determination of this appeal.

National Planning Framework 4 (NPF4)

- 4.2 NPF4 is the statutory framework for Scotland's long term spatial development, which has an outlook to 2045. NPF4 was adopted on 13 of February 2023 and guides spatial development at a national level through setting out the Scottish Government's overarching long term spatial strategy and principles. The national spatial strategy seeks to facilitate future net zero, nature-positive places that are designed to reduce emissions and adapt to the impacts of climate change, whilst protecting, recovering and restoring our environment. It also seeks to create future places with homes and neighbourhoods that are healthier, affordable and vibrant places to live.
- 4.3 Most relevant to the assessment of this appeal are the 33 national planning policies under Part 2 of the NPF4. Importantly, as noted at p.95 and p.98 of NPF4 and set out under the Chief Planner letter: transitional arrangements for National Planning Framework 4 - February 2023, the 33 national planning policies are to be read and applied as a whole.
- 4.4 The following national planning policy provisions from NPF4 are relevant to the assessment of this appeal:

- Policy 1 (Tackling the climate change and nature crisis)
- Policy 2 (Climate mitigation and adaptation)
- Policy 3 (Biodiversity)
- Policy 6 (Forestry woodland and trees)
- Policy 9 (Brownfield, vacant and derelict land and empty buildings)
- Policy 12 (Zero waste)
- Policy 13 (Sustainable transport)
- Policy 14 (Design, quality and place)
- Policy 15 (Local Living and 20 minute neighbourhoods)
- Policy 16 (Quality homes)
- Policy 18 (Infrastructure first)
- Policy 20 (Blue and green infrastructure)
- Policy 22 (Flood risk and water management)
- Policy 23 (Health and safety)
- Policy 26 (Business and industry)

4.5 The following national planning guidance is relevant to the assessment of this appeal:

Planning Advice Note 1/2011 (Planning and Noise)
BRE Guidelines (2022)

4.6 As demonstrated in section 5 below, the appeal scheme aligns with the relevant national planning policy outcomes and is thus considered to accord with the overarching long term spatial strategy of NPF4.

Aberdeen Local Development Plan 2023 (ALDP)

4.7 The ALDP was adopted on 19 June 2023. The ALDP is the principal local policy document used to guide decisions on planning applications in the City of Aberdeen. At its heart, the ALDP seeks to deliver sustainable and healthy communities.

4.8 The following policy provisions from the ALDP are relevant to the assessment of this appeal:

Policy B1 (Business and Industrial Land)
Policy C11 (Digital Infrastructure)
Policy D1 (Quality Placemaking)
Policy D2 (Amenity)
Policy D5 (Landscape Design)
Policy H3 (Density)
Policy H4 (Housing Mix and Need)
Policy H5 (Affordable Housing)
Policy I1 (Infrastructure Delivery and Planning Obligations)
Policy NE2 (Green and Blue Infrastructure)
Policy NE4 (Our Water Environment)
Policy NE5 (Trees and Woodland)
Policy R2 (Degraded and Contaminated Land)
Policy R5 (Waste Management Requirements for New Developments)
Policy R6 (Low and Zero Carbon Buildings and Water Efficiency)
Policy T2 (Sustainable Transport)
Policy T3 (Parking)
Policy WB1 (Healthy Developments)
Policy WB3 (Noise)

4.9 Alongside the ALDP is a suite of Planning Guidance (APG) documents that were adopted as non-statutory Planning Advice on 3 November 2023. These guidance documents are material in the assessment and determination of planning applications as they provide more detailed information on policies and sites. The following APG documents have been identified as relevant to this appeal:

Affordable & Specialist Housing

Amenity & Space Standards
Harmony of Uses
Health and Wellbeing
Landscape
Noise
Open Space & Green Infrastructure
Planning Obligations
Resources for New Development
Transport & Accessibility
Trees & Woodlands

4.10 The above-listed ALDP policy provisions and associated Planning Guidance documents are addressed in the planning appeal assessment below.

5. Planning Appeal Assessment

- 5.1 This section of the Appeal Statement of Case sets out the appellant’s grounds of appeal. The application that is subject to this appeal (250202/DPP) was refused under delegated powers on 5 June 2025. In refusing to grant planning permission, four reasons for refusal were given as follows:

Reason 1: Principle of Development in the business and industry zone

The provision of residential accommodation on land zoned for business and industrial use is contrary to the aims and requirements of Policy B1 (Business and Industrial Land) of the Aberdeen Local Development Plan 2023 (ALDP), being a use that is not compatible with business and industrial uses and which would not safeguard neighbouring land (developed or undeveloped) from other, conflicting development types.

Reason 2: Residential amenity and placemaking

The proposed development would not be a suitable location for residential use, being somewhat remote from existing residential communities and sited immediately adjacent to a busy dual carriageway and industrial estate. It would thus not be particularly pleasant or easy to move around, contrary to Policy 14 (Design, Quality and Place) of National Planning Framework 4 (NPF4) and Policy D1 (Quality Placemaking) of the ALDP. The development itself would also not provide a satisfactory level of residential amenity conducive to the health and wellbeing of future occupants, with deficits in terms of internal floor areas, outlook, daylight & sunlight receipt and the amount and quality of on-site open space, contrary to Policies D2 (Amenity) and WB1 (Healthy Developments) of the ALDP.

Reason 3: Accessibility and 20 minute neighbourhoods

Although the development would be connected into the adopted footpath network and would be sited within a 20 minute walk of various shops, amenities, public transport routes and employment land, the surrounding pedestrian network is not of a particularly high quality, especially for those with mobility issues, as accessing the majority of the aforementioned amenities would involve crossing over Hareness Road and/or Wellington Road, with a lack of safe, signalised crossing points in the immediate vicinity of the development. The proposed development therefore fails to comply fully with Policies 13 (Sustainable Transport) and 15 (Local Living and 20 Minute Neighbourhoods) of NPF4.

Reason 4: Housing on unallocated land

As the site is an unsuitable location for housing, in terms of both the land use zoning in the ALDP and in terms of the substandard quality of amenity and connectivity, the proposed development is also contrary to Policy 16 (Quality Homes), paragraph (f)(ii) of NPF4, which sets out the limited circumstances under which proposals for new homes on land not allocated for housing in the LDP can be supported.

- 5.2 The four reasons for refusal are addressed in-turn in the commentary below. The below assessment demonstrates that reasons for refusal are unfounded, and the proposal aligns with the relevant policies of the ALDP and NPF4 such that Officer’s decision should be overturned.

Reason 1: Principle of Development in the business and industry zone

- 5.3 The first reason for refusal relates to the principle of the development within the B1 Business and Industry zone, which the Planning Service deem to be unacceptable. Specifically, the issue Planning Service take issue with the proposed residential land use in the zone, which is not considered to be suited to a business and industry location. Furthermore, the Planning Service state that the proposed residential use “*would likely preclude the neighbouring, currently vacant land to the north and east from being used for uses in either Classes 5 or 6 in the future*” (Report of Handling, pg.8).
- 5.4 Although ALDP Policy B1 does not expressly prohibit residential development, the appellant recognises that the proposed use does not align with the traditional employment uses (Classes 4, 5 and 6) typically supported under this policy. Nonetheless, any perceived policy tension is clearly outweighed by a series of compelling material considerations that support the appeal proposal. These material considerations are listed below and addressed in full under the subsequent sub-headings.
1. The proposed residential use is compatible with the existing mixed-use character along the Wellington Road corridor;
 2. It would deliver much-needed affordable and specialist provision housing, addressing a recognised shortfall within the city; and
 3. It would secure the sustainable re-use of a long-term vacant office building, positively enabling the regeneration of a brownfield site.

Compatibility with the surrounding mixed use area

- 5.5 It is widely recognised in contemporary planning practice that the edges of industrial estates often function as transitional zones between core employment uses (Class 4, 5 and 6 uses) and adjacent non-employment uses. These peripheral areas are typically more accessible, often fronting key arterial routes, and generally have a greater level of separation from the higher-intensity industrial operations concentrated within the core of the estate. As such, these locations are frequently more suited to a mixture of land uses, such as residential or retail developments, particularly where said uses complement the surrounding area and do not undermine or conflict with the ongoing operation of existing employment uses.
- 5.6 Modern land use planning policy, primarily NPF4, promotes a shift away from exclusionary monofunctional zoning practices in favour of a more holistic mixed use and place-based planning approach. Relevant to this appeal, NPF4 specifically

supports more connected and compact neighbourhoods (NPF4 Policy 15), the reuse of brownfield land and empty buildings (NPF4 Policy 9), and the delivery of high-quality, sustainable places that reflect local character and reduce reliance on car travel (Policies 13 and 14). Transitional areas on the fringe of industrial estates and adjacent major transport corridors, such as the appeal site, represent ideal opportunities to deliver a mix of land uses in line with these national planning policy priorities.

- 5.7 The transitional character of the western edge of Altens Industrial Estate is clearly reflected by the existing land use pattern along Wellington Road. As outlined in section 2.6 earlier, this area contains a variety of non-employment uses situated within the B1 Business and Industry zoning designation. These land uses include a Shell Gas Station, three detached residential properties, areas of greenspace, and an Aldi supermarket (application reference: 210114/DPP). As shown in Figure 1, the appeal site lies directly between these uses, adjacent to Kimberley House (residential property) and greenspaces identified in the Aberdeen Open Space Audit, reinforcing its suitability for alternative, non-employment use.
- 5.8 The contextual location of the site on the periphery of the Business and Industry zone is recognised as a material consideration in the Report of Handling. Specifically, the Report of Handling states that *“whilst bound to the south-east by Altens Lorry Park, the site is not surrounded by industrial uses that would be incompatible with proposed residential use, as could be the case further into the estate”* and *“It is therefore appropriate to acknowledge that the context and character of the site differs from that of a more typical industrial estate environment that is found farther to the east”* (Report of Handling, pg. 9). This material consideration should have been afforded greater weight, particularly when considering the integrated mixed use and place-based planning approach encouraged by NPF4.
- 5.9 This established pattern of mixed-use development is not unique to this location. Across the city, particularly along major transport corridors such as Wellington Road, similar examples exist within B1 zoned land. Specifically, further along Wellington Road, there is an established presence of non-employment uses within the B1 Business and Industry zones of East and West Tullos Industrial Estates (to the north) and Wellington Circle Estate (to the south). In East and West Tullos Estates, there are several non-employment uses along Wellington Road, including various drive-throughs (Tim Hortons McDonald’s and Costa Coffee), Class 1A retail uses (Tesco Superstore and Lidl), the recently approved EV charging hub (application reference: 241137/DPP), as well as residential land near the Greenbank Road junction. Similarly, B1 Business and Industry land in the Wellington Circle Estate comprises the Wellington Circle Retail Park (which includes a combination of Class 1A, Class 11 and sui generis uses), a Shell Gas Station (sui generis) and a series of drive-through food and drink outlets (sui generis). This city-wide pattern demonstrates that the integration of non-employment uses along the peripheries of industrial estates is a well-established practice, particularly adjacent to major arterial routes like Wellington Road, and reflects an accepted, pragmatic approach to land use planning in Aberdeen and the rest of Scotland.

- 5.10 Considering the established land use context on the western periphery of Altens Industrial Estate and other similar peripheral industrial areas across the city, the proposed reuse of the former Loirston House office building for residential purposes represents a logical and appropriate solution for the site. It is compatible with the character and function of the surrounding area and aligns with the pattern of non-employment land uses that exist within the B1 zoning designation along Wellington Road, particularly the residential cluster immediately to the south. As such, due to this site-specific context, the proposed development is considered to align with the reasonable expectations of the B1 zone.
- 5.11 It is noted that the approval of residential uses in the B1 Industry and Business zone is not unique. In April 2025 a comparable change of use application for 24 affordable flats was approved at the Former Banks O' Dee Nursing Home in the B1 Business and Industry zone (application reference: 230685/DPP). Under this application, the proposed residential use was not considered to be incompatible with the B1 designation due to the contextual location of the site, which comprised a mixture of uses similar to the location of the appeal site. Refer to Appendix 4 for a copy of the Committee Report and Approved Plans from 230685/DPP.
- 5.12 The proposed development does not undermine the operation of adjacent industrial uses and is thus wholly compatible with the continued operation of these uses. A mature landscape buffer currently exists along the eastern boundary of the site, which is further reinforced by a 2.4-metre-high blockwork wall. As part of the proposed works, a 2m high close-boarded timber fence will extend this boundary treatment to ensure further visual and functional separation from the neighbouring employment premises to the east. In addition, acoustic mitigation measures are proposed to protect residential amenity and ensure acceptable noise levels inside habitable rooms. These acoustic mitigation measures include the provision of double-glazed windows with a 'closed-window' scenario and acoustic trickle vents (refer to the Noise Impact Assessment). Collectively, these measures ensure that the amenity of future residents will be safeguarded without detriment to the continued operation of neighbouring employment uses. The Report of Handling confirms that the above-mentioned mitigation measures will ensure that "*the proposed development would not likely conflict with any existing business and industrial uses*" (Report of Handling, pg.8).
- 5.13 While the Report of Handling acknowledges the proposed development would not conflict with existing surrounding business and industrial uses, it asserts that the residential use would nonetheless be unacceptable on the basis that it may "*preclude the neighbouring, currently vacant land to the north and east from being used for uses in either Classes 5 or 6 in the future*" (Report of Handling, p.8). The appellant respectfully disagrees with this assessment. The proposal should be assessed in relation to the existing land use context, along with any future proposals that are supported by either a live planning application or extant planning permission. This is common planning practice as it is impossible to make an informed decision based on hypothetical, uncertain development that could occur in the surrounding area in the

future. This approach ensures that decisions are evidence-based, proportionate, and grounded in material planning considerations. Accordingly, as demonstrated previously, under current circumstances, the use is compatible with the existing surrounding employment land use context.

- 5.14 Further to the above, the development will be accessed directly from Wellington Road and does not require any connection to the internal industrial road network via Hareness Road. This avoids introducing residential traffic onto the main industrial access route into Altens Industrial Estate. As such, there is no evidence that the proposal would result in any land use conflict or operational constraint for neighbouring businesses within the wider Altens Industrial Estate to the east.
- 5.15 By contrast, redevelopment of the site for a Class 5 (general industrial) or Class 6 (storage and distribution) use would be inconsistent with the established pattern of non-employment uses in this transitional location and could result in detrimental amenity impacts on the adjoining Kimberley House. Moreover, as discussed in the subsequent sections, there is a clear lack of demand for continued Class 4 (business) use on the site.

Delivery of much-needed affordable and specialist provision accommodation

- 5.16 On 15 May 2024, Scotland declared a national housing emergency. Following this declaration, on 5 September 2024, Aberdeen City Council declared a housing emergency due to a critical shortage of affordable homes across the city.
- 5.17 The proposed development will deliver 100% affordable housing, including ground floor wheelchair-accessible units specifically designed for individuals with bariatric conditions. The first-floor flats are also designed to be adaptable, enabling them to meet a range of specialist needs, including accommodation for individuals with mental health conditions and/or learning disabilities. This directly aligns with the aims of ALDP Policies H4 and H5 and NPF4 Policy 16. The proposal specifically comprises of 100% affordable housing which is recognised in the Report of Handling “*to significantly exceed the minimum 25% affordable housing requirement as set out in Policies 16 and H5*” (Report of Handling, pg. 18). The Report of Handling also acknowledges that NPF4 Policy 16 (c) provides in principle support for affordable and wheelchair accessible housing, however, places limited weight on this important specialist social housing solution and the associated public benefits it could provide. The appellant maintains that this form of accommodation responds to a critical and well-evidenced housing need within Aberdeen and, as such, should be given substantial material weight in the overall planning assessment.
- 5.18 Right from project inception, the core objective of this change of use proposal was twofold: (1) to bring a long-term vacant building back into productive use and (2), to provide an immediately deliverable solution to Aberdeen’s identified shortage of affordable housing, particularly for individuals with disabilities or long-term health conditions. This need was identified and refined through early pre-application

engagement with ACC’s Housing Strategy Team and ACHSCP, which started back in September 2022. Following on from those initial pre-application discussions, the ACC Housing Strategy Team and the ACHSCP have played an active role in shaping the proposal, ensuring the affordable and specialist provision housing would respond directly to strategic housing priorities. Following lodgement of the application, the Housing Strategy Team subsequently issued a supportive consultation response on 11 March 2025, reinforcing the proposal’s alignment with the city’s housing delivery objectives.

- 5.19 The early involvement of ACC Housing Strategy Team and the ACHSCP meant that the site was committed as a key affordable housing project for the city under the adopted Council’s Strategic Housing Investment Plan 2025 –2030 (SHIP). In fact, the site has been allocated in the SHIP since at least 2024 (refer to Appendix 3). This proves that the project is not just a windfall housing scheme on an unallocated site but is in fact earmarked as a priority project that will provide an important contribution towards a specific affordable housing need and enable the Council to achieve its affordable housing targets set out in the Aberdeen City Council Local Housing Strategy 2018-2032 (ALHS).

- 5.20 The supportive consultation response from the ACC Housing Strategy Team (11 March 2025) referred specifically to the direct need for specialist provision accommodation for individuals with bariatric conditions in accordance with the Aberdeen City Health and Social Care Partnership’s Independent Living and Specialist Housing Market Position Statement (2024-2034) (ACHSCP Position Statement). Per the ACHSCP Position Statement, *“there has been an increase in the number of people requiring specialist bariatric care”* (pg. 17). This increase in the number of people requiring care is compounded by the limited availability of housing designed for bariatric care. This is highlighted by the Aberdeen City and Aberdeenshire Housing Needs & Demand Assessment: 2023 -2028 (HNDA), which states that *“there is an identified lack of accommodation for people with complex care needs or those with bariatric conditions”* (HNDA, pg. 270). Specifically, the ACHSCP confirms that there are only three homes available in Aberdeen City Council’s housing stock that are designed specifically for bariatric care (Position Statement, pg. 18).

- 5.21 The HNDA identifies a further **ten bariatric homes** required to meet the existing and unmet need for this type of accommodation in the short term (up to 5 years). Furthermore, predicted data in the ACHSCP shows that a total of **30 bariatric homes** would be required to meet the increasing needs of the city by 2034 (ACHSCP Position Statement, pg. 18). As it stands, there are no current plans in Aberdeen for specialist accommodation for individuals with bariatric conditions (HNDA, pg. 184).

- 5.22 In addition to the need for bariatric housing, the Aberdeen City Council LHS identifies that there is a *“lack of suitable housing for people who have a learning disability, mental health or substance misuse problems”* (pg. 59). Specifically, there are currently **31 individuals** in Aberdeen with complex care needs requiring accommodation (HNDA). The HNDA (pg. 236) identifies a need for an **additional 8 unit development**,

every 2 years plus one site (8 units) per year to meet the emerging needs of those with learning disabilities and mental health issues. This need corresponds with the findings of the ALHS, which states that there is a *“lack of suitable housing for people who have a learning disability, mental health or substance misuse problems”* (pg. 59). Therefore, the proposal would clearly satisfy an urgent unmet need for affordable specialist provision accommodation for those with bariatric conditions, mental health and/or learning disabilities.

- 5.23 The need for accommodation suitable for individuals with bariatric conditions, mental health conditions and learning disabilities was highlighted by NHS Grampian and Audrey Nicoll MSP who were both consulted on this appeal:

“I feel that it is very clear that the City is in significant need of the type of accommodation proposed. The aforementioned document details the need for bariatric accommodation with tracking and hoisting, wheelchair accessible units and provision for accommodation for people with brain injury, dementia, mental health and learning disabilities.” (NHS Grampian Comments on Loirston House application)

“the planning application sets forth proposals which adheres to a range of local and national housing policy, and additionally meets a specific and bespoke housing need that is in very short supply.” (Audrey Nicoll MSP Comments on Loirston House application)

- 5.24 The ACHSCP has also always been supportive of the principle of specialist provision housing at Loirston House, as confirmed by correspondence received from the ACC Housing Strategy Team back in September 2022 (refer to Appendix 2). This correspondence proves that the need for specialist provision housing was identified by the ACHSCP well before an application was even submitted. Members of the ACHSCP even visited the site back on 2 September 2022 and did not raise any concerns regarding the site location or quality of the building for the proposed 100% affordable and specialist provision housing.
- 5.25 There is also a general shortfall in wheelchair accessible housing, with **737 households** in Aberdeen not having their needs met due to a lack of wheelchair accessibility (HNDA, pg. 271). This is exacerbated by the **47% rise** in the number of applicants in Aberdeen that have identified the need for additional space requirements due to illness or disability (HNDA, pg. 270)
- 5.26 Not only would the proposal fill an obvious gap in affordable specialist provision accommodation, but it would also help reverse housing related hospital delayed discharges and promote independent living in a homely environment. The impact on delayed hospital discharge on the individual / patient can be significant if appropriate accommodation cannot be found (HNDA, pg. 185). The Coming Home Implementation Report 2022 poignantly outlines that *“for every day spent unnecessarily in hospital, that person loses part of their connection with their community, their family, and their friends”* (Coming Home Implementation Report,

pg. 11). Unnecessary or prolonged hospitalisation can lead to deconditioning and deterioration, as well as long-term loss of independence, often resulting in premature and avoidable placement in residential care (Discharge without Delay Discussion Document, pg. 10).

- 5.27 The ACHSCP Position Statement outlines that the lack of housing to suit areas of identified housing need puts increased pressure on the health and social care system through delays in hospital discharges and results in unnecessary deteriorations in health (ACHSCP, pg. 6). Furthermore, the average cost of a hospital bed is around £800 per night, therefore there is also a cost incurred by NHS for each patient who is delayed (ACHSCP Discharged Without Delay Report, pg.5). In relation to specialist provision housing for individuals with bariatric conditions, the ACHSCP specifically states that *“Care workers and Occupational Therapists currently have concerns on planning for the future in how we care for those with bariatric needs”* (ACHSCP, pg. 17). When consulted on this appeal, NHS Grampian similarly stressed the issues faced by the health and social care system in relation to delayed discharge and lack of suitable homes:

“We experience first hand the issues surrounding patient outflow, given the lack of accommodation of this nature, which ultimately creates flow pressures within acute hospital settings, with delayed discharge and delayed transfer of care featuring significantly.” (NHS Grampian Comments on Loirston House application)

- 5.28 Per the ALHS, delayed hospital discharge is likely to get worse, with there being a rising trend in the number of people in hospital waiting for specialist housing provision. The length of delay is often more than six weeks, which can result in a high number of bed-days lost (ALHS, pg.63). The latest statistics from 2 September 2024 confirm that **62 Aberdeen City citizens** were classed as a delayed discharge in hospital (ACHSCP Discharged Without Delay Report, pg.4). This would equate to approximately £33,600 per patient per annum (over £2 million in total) based on the average cost of a hospital bed outlined in section 5.27 above. The proposal is for an immediately deliverable affordable and specialist provision housing solution that will provide an effective short-term contribution toward reversing delayed hospital discharge for those with bariatric conditions, mental health conditions and/or learning disabilities.

- 5.29 As recognised in section 5.266 of the HNDA, there is a major shift in the balance of care, with a move away from care and support being provided in an institutional setting towards appropriate services delivered in a more homely, community-based setting. This shift to independent living is a key Strategic Outcome set out under Chapter 5 of the LHS:

“People are supported to live, as far as is reasonably practicable, independently at home or in a homely setting in their community.” (ALHS, pg. 59)

5.30 Living independently at home is also the second of nine national health and wellbeing outcomes set out under the National Health and Wellbeing Outcomes: Framework (2015), as follows:

“People, including those with disabilities or long term conditions, or who are frail, are able to live, as far as reasonably practicable, independently and at home or in a homely setting in their community” (National Health and Wellbeing Outcomes: Framework, pg.4)

5.31 The right to live independently and be included in a community is also an obligation under Article 19 of the UN Convention on the Rights of Persons with Disabilities. Article 19 specifically states:

“a) Persons with disabilities have the opportunity to choose their place of residence and where and with whom they live on an equal basis with others and are not obliged to live in a particular living arrangement;

b) Persons with disabilities have access to a range of in-home, residential and other community support services, including personal assistance necessary to support living and inclusion in the community, and to prevent isolation or segregation from the community;

c) Community services and facilities for the general population are available on an equal basis to persons with disabilities and are responsive to their needs.”

(UN Convention on the Rights of Persons with Disabilities, Article 19)

5.32 The letter of support from Audrey Nicoll MSP recognises the social and health benefits of the proposal scheme:

“I am also mindful that the provisions within the planning application would be of significant benefit to the tenants who could be housed there, and will improve the social and health outcomes of such individuals” (Audrey Nicoll MSP Comments on Loirston House application)

5.33 The proposal facilitates those with bariatric conditions, mental health and/or learning disabilities to move to an independent dwelling within an appropriate community setting. This aligns with UN, national and local priorities and obligations set out above.

5.34 Given the proposal is for a change of use and minimal works are required to the existing building and associated curtilage to bring it into residential use, the proposed affordable housing can be delivered without delay. Furthermore, as outlined in the Design and Access Statement, the construction costs associated with bariatric housing are usually substantially higher than normal due to the need for reinforced structures and robust fittings, larger spaces and accessibility features. This is also highlighted in the Aberdeen Local Housing Strategy 2025 –2030 –Evidence base, which states that *“bariatric standard accommodation comes at a significant*

additional development costs, which has hampered further development” (pg. 67). As the proposal is for the conversion of an existing building that already has a reinforced structure, this will significantly reduce these costs and allow for a more timeous and affordable alternative to new build bariatric housing.

- 5.35 Overall, while the Report of Handling recognises that NPF4 Policy 16 (c) provides in principle support for affordable, specialist provision and wheelchair accessible housing, it places limited weight on this important specialist social housing outcome and the associated public benefits it would deliver. The appellant submits that, based on the grounds presented above, there is a demonstrable and overriding need in the city for affordable housing, particularly affordable housing that is adapted for wheelchair access and ancillary specialist provision use. This is in line with NPF4 Policy 16 and ALDP Policies H4 and H5. The wider health and social care benefits, including reducing delayed hospital discharges and enabling independent living, represents a significant material consideration that should carry substantial weight in the balance of planning judgement, particularly when assessing the principle of development. Please note, the relevant housing demand, health and land supply information cited above is included in Appendix 6.

Reuse and revitalisation of a vacant building

- 5.36 The ALDP spatial strategy prioritises the regeneration of brownfield sites throughout the existing built-up areas of the city for increasing housing supply. It also recognises the importance of regenerating brownfield sites for regenerating communities and bringing vacant buildings back into effective use.

“Brownfield sites are expected to contribute an increasing amount of our housing requirements over the period to 2032.” (ALDP spatial strategy, pg. 17)

“Redeveloping the urban area can regenerate communities, maintain local services, remove local eyesores, bring land and buildings back into effective use” (ALDP spatial strategy, pg. 19)

- 5.37 The proposal directly supports the ALDP spatial strategy and policy intent of NPF4 Policy 9 by facilitating the adaptive reuse of a long-term vacant building for the delivery of specialist provision affordable housing. As evidenced by the submitted Marketing Statement, Loirston House has been vacant since September 2016 (**nine years**), with no interest in its future use as an office building. This lack of commercial interest is also acknowledged in the Report of Handling, which states that *“Despite active marketing, there has been no feasible interest in the building”* (Report of Handling, pg.9).
- 5.38 The vacant building incurs significant annual holding costs exceeding £120,000 per year, which is not sustainable in the long-term. Continued safeguarding of the site for Class 4 (business) use, despite an absence of market interest, places an undue financial burden on the landowner and fails to optimise the site’s potential to be

sustainably reused in accordance with NPF4 Policy 9. Retaining the building purely for Class 4 office use is therefore clearly detrimental for supporting the long-term preservation of the building and alternative strategies to secure a viable long-term use are required, such as the proposed affordable housing solution.

- 5.39 If this appeal is dismissed, the only other viable option will be to demolish the building in accordance with the existing demolition warrant (reference: 240701). The appellant cannot indefinitely sustain the major financial setback of continued vacant office rates and holding costs. Repurposing the vacant office building for affordable housing must be given priority over demolition. It is therefore absolutely critical that this appeal succeeds to avoid the loss of the building and the consequential release of carbon, which goes against the spirit of NPF4 Policies 1, 2, 9 and 12. Cumulatively, Policies 1 and 2 place significant weight on addressing the global climate and nature crises and the proposal's contribution toward this national priority through the reuse and upgrade of an existing vacant building should be given significant weight. The Report of Handling acknowledges the proposal's compliance with the aims and provisions of NPF4 Policies 1, 2, 9 and 12 on the basis that:

“the development would be inherently sustainable and could indirectly help to tackle the climate crisis and present opportunities to minimise greenhouse gas emissions.”
(Report of Handling, pg. 12)

- 5.40 As noted in section 3, only minor changes are proposed to the structure of the existing building and external elevations to maximise its potential to deliver much needed affordable housing and enhance its visual appearance. Furthermore, upgrades to the existing building's walls and roof will be carried out to ensure the building meets current building regulations in terms of energy efficiency. As the proposal will not significantly alter the fabric of the existing office building, the building could readily be reverted to Class 4 use in the future if this were ever required. Designing buildings to support flexibility for adaptation over time is encouraged under NPF4 Policy 14.
- 5.41 The Aberdeen City and Shire Employment Land Audit (ELA) confirms that there is ample supply of business and industry land within the city, with 254 ha established land available as of 2023. The market for business uses within the wider City of Aberdeen has been weak for some time, particularly following the COVID-19 pandemic, and there is little expectation that this will change. Given the healthy supply of employment land across the city, the loss of ~0.3 ha of employment land would be negligible and could nonetheless be replaced through the allocation of new land in the upcoming ALDP. This is also recognised in the Report of Handling.
- 5.42 The principle of the proposed change of use is thus supported by the ALDP spatial strategy and NPF4 Policy 9. This should be afforded significant weight in light of the Marketing Statement supplied by the appellant and considering the current market conditions for business uses in city. Its reuse also accords with NPF4 Policies 1, 2 and 12, as it would conserve embodied energy by avoiding demolition. While the Report of Handling recognises that the proposal complies with the aims and provisions of these

policies, it does not attribute enough weight to these policies. This goes against the spirit of NPF4 which states that significant weight will be given to the global climate and nature crises.

- 5.43 Taken together, the material considerations set out above provide strong grounds for a departure from the site’s B1 Business and Industry designation based on other key NPF4 policies (Policy 1, 2, 9, 12 and 16) that support the principle of the proposed development. The principle of development is therefore considered to be acceptable on the basis that the change of use: (1) is consistent the established character of the area, (2) delivers an immediate response to an identified housing shortfall and (3) regenerates a long-standing vacant building.
- 5.44 It is important to note the Chief Planner’s instructions to consider NPF4 as a whole document rather than as a set of standalone policies. Therefore, the proposal’s compliance with the range of policies set out above outweighs the tension with the individual B1 Business and Industry policy.

Reason 2: Residential amenity and placemaking

- 5.45 The second reason for refusal is split into two parts. The first part relates to the proposed residential amenity, which the Planning Service do not consider to be satisfactory or conducive to the health and wellbeing of future occupants. The second part relates to design quality and placemaking, which the Planning Service do not support due to the site’s location being “*remote from existing residential communities and sited immediately adjacent to a busy dual carriageway and industrial estate*” (Decision Notice). It cites NPF4 Policy 14 and ALDP Policies D1, D2 and WB1 as the premise for this reason for refusal, although the Report of Handling refers to additional ALDP and NPF4 policies (as discussed). These two parts are addressed in-turn below.

Residential amenity

- 5.46 The Report of Handling breaks the residential amenity section into three topics, which are listed as follows:

- Space standards, outlook, daylight receipt and privacy
- Open space
- Noise

- 5.47 Each of these topics are addressed under the sub-headings below.

Space standards, outlook, daylight receipt and privacy

- 5.48 The Report of Handling outlines that the nine wheelchair accessible ground floor flats significantly exceed the internal floor space standards recommended by the Aberdeen Planning Guidance (APG) on Amenity & Space Standards, with unit sizes

ranging between **67 m² and 93 m²** (p.12). However, it expresses concern over the size of the first floor flats, which range between **47m² and 56m²** and fall marginally below the recommended minimum internal floor area of 52m² for a one bedroom flat and 66m² for a two bedroom flat, as set out under section 2.10 of the APG.

- 5.49 The proposal has been designed make the most efficient use of the existing building. This meant that the proposed internal layout was dictated by the existing floorplates and position of stairwells. The shortfall in the first-floor flat sizes is marginal and is counterbalanced by the provision of generous communal storage facilities totalling approximately **71m²** across the building. This marginal reduction is largely offset by the provision of generous communal storage facilities across both levels of the building. When these community storage areas are factored in, the discrepancy between the proposed flat sizes and the APG space standards is ‘de minimis’ and the minor reduction is not considered to compromise overall quality or functionality of the residential accommodation.
- 5.50 Moreover, the appellant submits that greater flexibility should be applied in interpreting the internal space standards in this instance, due to the inherent constraints associated with the conversion of an existing building. Section 2.18 of the APG acknowledges that conversions may require compromises where no feasible alternative exists or where other material benefits are achieved. In this case, the proposed scheme delivers significant public benefits. Notably the provision of affordable housing with integrated ancillary specialist provision / wheelchair accessible accommodation that addresses a critical unmet housing need within the city (as set out in Sections 5.16–5.35). Furthermore, allowing minimal deviations from the space standards is essential for the viability of the conversion and to avoid the significantly more resource-intensive and unsustainable alternative of demolition and redevelopment.
- 5.51 While the Report of Handling acknowledges the flexibility afforded to conversions under section 2.18 of the APG, it does not adequately consider or balance the clear public benefits of the proposal against the minor deviations from internal space standards. As a result, the assessment lacks proportionality and consistency, particularly when compared with the Planning Service’s approach to similar proposals in the city. A clear example of this inconsistency is seen in the approved change of use to 24 affordable flats at the Former Banks O’ Dee Nursing Home (application reference: 230685/DPP). Like the appeal scheme, that approval involved one bedroom flats on the first floor which were below the minimum 52m² guideline specified in the APG. Specifically, the first floor flats ranged between 45m² and 49m², which is smaller than the one bedroom flats proposed under the appeal scheme. Per the Committee Report, these flats were supported as a deviation from the APG guideline due to the constraint posed by the existing floor plates of the building and stairwells, much like the proposal. The reuse of the building was cited as justification for allowing this variation from the APG standards. The Committee Report specifically states:

“Albeit lower than the guideline minimum floor size of 52sqm, the first floor level flats would not be significantly smaller than the guideline minimum and their size is dictated, to an extent, by the existing floorplates and position of stairwells in the building. Given the sustainable re-use of the existing building, the relatively minor deficit in internal floor areas for the majority of the first floor level flats is considered to be acceptable.” (Committee Report, pg. 15) –refer to Appendix 4 for a copy of the Committee Report and Approved Plans

- 5.52 This example case highlights a precedent where sound planning judgment was applied to allow a slight deviation in the APG space standards to facilitate the sustainable reuse of an existing building. The same reasoning should reasonably be applied to the current proposal.
- 5.53 Lastly, it is noted that the UK nationally described space standards (2015) specifies that the minimum space standard for one bedroom flats is 37m², which is significantly less than the 52m² recommended for a one bedroom flat under the APG on Amenity & Space Standards. While these standards do not apply to Scottish Local Planning Authorities, it does provide a useful UK-wide benchmark for what is considered to provide a satisfactory level of residential amenity for occupants.
- 5.54 Turning now to daylight, the Report of Handling expresses concern that the majority of flats would only have single aspect rather than dual aspect and that the established trees along the eastern boundary would cast shade onto the eastern side of the building and garden areas. Section 2.4 of the APG on Amenity & Space Standards provides flexibility for daylight considerations for conversions of existing buildings where existing floorplates and layouts may be constrained, resulting in no feasible alternative to the creation of single aspect dwellings. In such instances, section 2.4 of the APG seeks to ensure that conversions incorporate appropriate mitigation, such as:
- “increasing the amount of daylight which can enter the rooms, through the use of larger windows, ensuring a high-quality outlook, increasing the internal floor area and/or providing access to private external amenity space”* (APG Amenity & Space Standards, pg. 8)
- 5.55 As acknowledged in the Report of Handling, all the flats *“benefit from sufficient glazing, including full height windows and Juliet balconies for first floor level living rooms, and glazed doors into garden areas at ground floor level”* (pg. 12). Furthermore, the Planning Service agree that the outlook for the majority of flats would be reasonable, with views onto communal gardens and established tree belts. Therefore, even though some of the flats are single aspect, this is considered to be acceptable in light of the proposal being for a conversion rather than a new build and including mitigation measures recommended under section 2.4 of the APG.
- 5.56 In terms of shade, it is noted that the BRE Guidelines (2022) for daylight and sunlight suggest that trees and shrubs do not normally need to be included in technical daylight and sunlight assessments, particularly in the context of conversions of

existing buildings which often warrant greater flexibility for daylight performance. The guidelines simply note that if an existing garden or outdoor space is already heavily obstructed then any further loss of sunlight should be kept to a minimum. In this case, the proposal includes the removal of two trees in the existing rear outdoor amenity area, specifically to improve daylight receipt for the north-eastern elevation and proposed garden areas. This strategy is considered to provide a well balanced and proportionate solution that enhances daylight access for future residents while retaining the wider tree belt so that it can continue to provide effective natural screening and contribute positively to the landscape setting.

Open space

- 5.57 Per the Report of Handling, the proposal is considered to provide a sufficient amount of open space that is proportionate to the constrained nature of the brownfield site. However, it states that while the amount of open space is satisfactory, the quality and useability of on-site open space is not fully compliant with the aspirations and requirements of Policy NE2 of the ALDP and the associated APG on Open Space. This is because the Planning Service consider the open space to be “*compromised somewhat by shading cast by existing trees outwith the site, and by the building itself*” (Report of Handling, pg. 13).
- 5.58 ALDP Policy NE2 and the associated APG on Open Space both concede that proposals for brownfield sites may not be able to increase the amount of open space, particularly where existing buildings on the site are being retained. In such cases, Policy NE2 advises that appropriate design solutions to deliver on-site amenity will be sought in the first instance. Where necessary and appropriate, this may be supplemented by a financial contribution toward off-site open space provision or the enhancement of existing green infrastructure in the surrounding area.
- 5.59 In accordance with Policy NE2, the proposal makes effective use of a constrained brownfield site to deliver meaningful improvements to the quality and usability of open space and on-site amenity. As detailed in the Biodiversity Landscaping Plan, the proposal replaces a significant portion of existing hardstanding primarily associated with the former car park, with a combination of wildflower and amenity grassland. This is supported by strengthened boundary treatments and biodiversity enhancements around the building. On the southern side of the building, the proposal incorporates a high quality outdoor communal area, featuring fixed seating and tables, low level sensory planting and a mixture of native trees, shrubs and wildflower grass. On the north-eastern side of the building, further amenity provision is made through a communal drying area (included in response to consultation feedback from the Planning Service) and private gardens associated with the ground floor flats. Additional open spaces and planting areas are integrated around the revised car parking layout, contributing further to the site’s open space network.
- 5.60 ALDP Policy D2 states that residential developments will provide no less than 50% usable amenity space where it is necessary to provide car parking within a private court. The existing building footprint takes up about 1,065m² of the site area. This

leaves 2,055m² of useable external space. The proposed reduced carpark accounts for 724m², with the remaining 1,331m² (or 65% of the usable external area) allocated to open space and landscaping. The majority of this space is designed as usable amenity space. Given that the proposal involves the retention and conversion of an existing building, the delivery of 65% open space and landscaping is considered generous and clearly compliant with the requirements of ALDP Policy D2.

- 5.61 These landscaping and open space enhancements represent a significant uplift in the quality and functionality of on-site amenity, especially when measured against the site's previous condition. In addition, the development will provide a commuted sum towards improvements to existing public open space in the local area, as noted in the Report of Handling. Taken together, the on-site design interventions and off-site contributions demonstrate a comprehensive and policy-compliant approach to open space delivery in the context of a brownfield site. Accordingly, the proposal is considered to comply with the intent and requirements of ALDP Policy NE2 and the APG on Open Space, particularly in light of the inherent site constraints and the overarching sustainability benefits associated with retaining and repurposing the existing building.
- 5.62 It is noted that the site is located in proximity to a plethora of open spaces. In fact, as per the Open Space Audit 2024, the site itself immediately adjoins existing natural/semi-natural greenspace (refer to Figure 6 below). The proposed open spaces and landscape scheme will tie in well with these surrounding open spaces and improve their overall quality. Additionally, as noted in section 2 above, the site is located just 250m from Kincorth Hill Local Nature Reserve and 350m from Cat Cairn nature preserve.

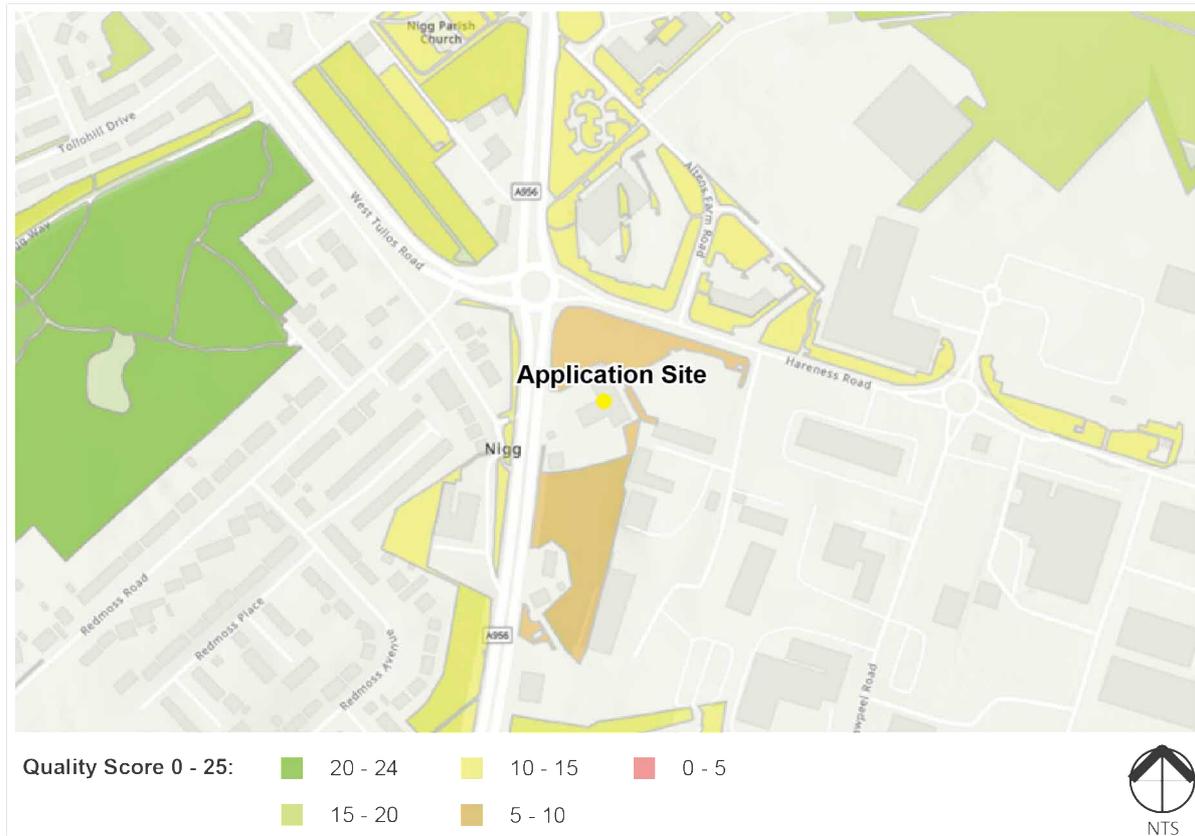


Figure 6: Open Space Audit 2024 mapping (Source: Aberdeen City Council)

Noise

5.63 The Planning Service has expressed concern about the closed-window strategy required to achieve satisfactory acoustic performance within the flats. The Report of Handling states that this strategy causes some tension with NPF4 Policy 23, ALDP Policy WB3, and the associated APG on Noise and the Scottish Government’s Planning Advice Note 1/2011 (Planning and Noise) (PAN 1/2011).

5.64 While an open window approach is preferred, both the APG on Noise and the Scottish Government’s Planning Advice Note 1/2011 (Planning and Noise) acknowledge that closed-window solutions are appropriate under certain circumstances, as follows:

“Local circumstances, particularly relating to the existing noise character of the area, should influence the approach taken to noise levels with open or closed windows” (Planning Advice Note 1/2011 (Planning and Noise, pg. 5)

“In some circumstances however, closed windows with alternative means of ventilation may be unavoidable.” (Planning Advice Note 1/2011 (Planning and Noise, pg. 5)

“Alternative ventilation may be required where it is not possible to achieve these criteria with traditional window designs and windows partially open for ventilation.”
(APG on Noise, pg. 8)

- 5.65 Per the Noise Impact Assessment (NIA), the close-window approach is necessary due to ambient traffic noise from Wellington Road. The NIA confirms that appropriate alternative ventilation systems can maintain a satisfactory internal acoustic environment, consistent with PAN 1/2011 and the APG on Noise. This conclusion is supported by the Council’s Environmental Health Service, thus confirming compliance with Policies 23 of NPF4 and WB3 of the ALDP. Given the existing background noise context and brownfield nature of the site, open window solutions are not a viable option, otherwise this would have been proposed in the NIA or requested by the Environmental Health Service.
- 5.66 It is also relevant to note that a closed-window approach has been accepted on other brownfield sites across the city, for example:
- 24 affordable and specialist provision flats at the Former Banks O’ Dee Nursing Home, Abbotswell Road, Aberdeen, AB12 3AB (application reference: 230685/DPP);
 - The supported living development at the Former Stoneywood Primary School site, Stoneywood Road, Stoneywood, AB21 9HY (application reference: 230428/DPP); and
 - Self-build residential plots at Waterton House, Stoneywood, AB21 9HX (application reference: 230428/DPP).
- 5.67 This demonstrates that the approach is not exceptional, but consistent with precedent across the city.
- 5.68 In conclusion, while the proposal falls short of some of the criteria of the APG on Amenity & Space Standards, these are very minor in nature and must be considered in the context of the case, which is for the conversion of an existing building on a constrained brownfield site. While the APG provides some flexibility for conversions and brownfield sites, the minor deviations do not materially affect the quality, functionality, or overall residential amenity of the proposed flats. In fact, the internal layout, daylight strategy, open space design, boundary / privacy treatments and acoustic mitigation measures have all been carefully considered and developed to optimise residential amenity and functionality. Moreover, any minor technical shortfalls are clearly and demonstrably outweighed by the significant public benefits associated with the scheme, namely, the delivery of much-needed affordable specialist provision housing and the sustainable reuse of a long-term vacant building.
- 5.69 On balance, the proposal is consistent with the residential amenity provisions of NPF4 Policies 14 and 23, ALDP Policies D1, D2, NE2, WB1 and WB3, and the aims of the associated APG on Amenity & Space Standards, APG on Noise, and the Scottish Government’s Planning Advice Note 1/2011 (Planning and Noise).

Design quality and placemaking

- 5.70 The Report of Handling acknowledges that the proposed refurbishment and recladding works would deliver a positive visual enhancement to the local streetscape and would not detract from any key views within the wider area. While it accepts that the scheme generally aligns with the six qualities of successful places, it nonetheless concludes that the development is “*not particularly pleasant or easy to move around*” (Report of Handling, pg. 16) and therefore identifies some degree of tension with the aims and aspirations of ALDP Policy D1 and NPF4 Policy 14. It specifically states that the site’s location immediately adjacent Wellington Road, Hareness Road and an industrial estate would not provide a pleasant residential environment. Furthermore, it states that it would not be easy to move around the pedestrian footpaths outwith the site.
- 5.71 It is important to reiterate that the application relates to the conversion and enhancement of a brownfield site containing a long-vacant office building. While the sustainable reuse of an existing building is strongly supported and encouraged under NPF4 Policy 9, it inevitably requires a pragmatic and flexible application of design and residential amenity policies, recognising that some standards intended for new build developments may not be fully achievable for a change of use on brownfield land.
- 5.72 The assertion that the location of the site adjacent to Wellington Road, Hareness Road and Altens Industrial Estate is unsuitable for creating a pleasant residential environment is not supported by the established mixed use context. As demonstrated in section 2, there are already existing residential uses immediately adjacent the site along Wellington Road, including Kimberley House to the south. Although these properties were constructed some time ago, their continued occupation demonstrates that a satisfactory residential environment can be achieved in this location. The site’s mixed use location, coupled with the proposed high-quality boundary treatments, acoustic mitigation measures, and landscape enhancements, will ensure the delivery of a reasonable residential environment that is compatible with the urban setting and consistent with relevant policy expectations of ALDP Policy D1 and NPF4 Policy 14.
- 5.73 With respect to movement, the Report of Handling outlines that external pedestrian linkages are not ideal given the absence of a formal, signalised pedestrian crossing over Hareness Road. However, it suggests that this could be ameliorated via the imposition of a condition requiring the installation of such a crossing. The appellant is fully committed to enhancing pedestrian connectivity and access in accordance with NPF4 Policy 14 and therefore welcomes this condition.
- 5.74 In light of the above, the appellant respectfully disagrees with the Planning Service’s conclusion that the proposal is not easy to move around and does not create a pleasant residential environment. On the contrary, the proposed design responds positively to the site constraints and surrounding context and delivers appropriate mitigations and enhancements to ensure a pleasant, functional and well-connected

residential environment. It is thus consistent with the placemaking principles of NPF4 and ALDP. The appellant welcomes a condition requiring the installation of a signalised crossing over Hareness Road.

Reason 3: Accessibility

- 5.75 The third reason for refusal relates to pedestrian safety and accessibility outwith the site. More specifically, the Planning Service is of the opinion that the proposal fails to meet NPF4 Policies 13 and 15 and ALDP Policy T2 because the surrounding pedestrian network is “*not of a particularly high quality, especially for those with mobility issues*” (Report of Handling, pg. 22). It states that access to the majority of amenities “*would involve crossing over Hareness Road and/or Wellington Road, with a lack of safe, signalised crossing points in the immediate vicinity of the development*” (Report of Handling, pg. 22). It is important to highlight that the Planning Service are not concerned with the availability or proximity of amenities and services in the area, but rather with pedestrian accessibility to those facilities.
- 5.76 The Report of Handling and Decision Notice both confirm that the proposal would be sited within a 20 minute walk of various shops, amenities, public transport routes and employment land. The appellant agrees with this conclusion and maintains that the site is well placed for residents to meet the majority of their daily needs within a reasonable distance of the site. Section 2 of this Statement of Case details the concentration of key amenities and facilities in proximity to the site that people can easily access from the proposed development.
- 5.77 Per the Report of Handling, the key pedestrian accessibility concern relates to access to the northbound bus stops on Wellington Road, which would involve crossing either Wellington Road or Hareness Road via non-signalised crossing points. As set out earlier, this concern can be effectively resolved through the imposition of a planning condition requiring the delivery of a signalised pedestrian crossing over Hareness Road. This mitigation measure is acknowledged as a viable option within the Report of Handling itself:
- “In the event the application was to be approved, however, a could be attached requiring the installation of such a crossing, in order to provide enhanced pedestrian connectivity to the wider area.”* (Report of Handling, pg. 16)
- 5.78 The appellant is fully supportive of the proposed condition, recognising that it would meaningfully enhance pedestrian safety and connectivity in accordance with the principles of NPF4 Policies 13 and 15. As the Planning Service itself has acknowledged this condition as an appropriate and deliverable form of mitigation, the issue cited in the refusal is considered to be satisfactorily addressed.
- 5.79 It is noted that the Council’s Roads Development Management Team did not raise any road safety concerns with the pedestrian access arrangements and confirms that the site is well-served by public transport (bus) stops nearby on Wellington Road.

Reason 4: Housing on unallocated land

- 5.80 The final reason for refusal relates to item (f) of NPF4 Policy 16, which concerns housing on unallocated land. According to the Report of Handling and Decision Notice, the Planning Service do not consider the proposal to meet the criteria for housing on unallocated land under Policy 16(f)(ii) because it is in an unsuitable location for housing “*in terms of both the land use zoning in the ALDP and in terms of the substandard quality of amenity and connectivity*” (Decision Notice). It concludes that the proposal does not satisfy the requirements of Policy 16(f)(ii). This position appears to be a reiteration of the earlier reasons for refusal already addressed above.
- 5.81 NPF4 Policy 16(f)(ii) states that housing proposals on unallocated land may only be supported where:
- “The proposal is otherwise consistent with the plan spatial strategy and other relevant policies including local living and 20 minute neighbourhoods”* (NPF4 Policy 16(f)(ii))
- 5.82 The appellant submits that, for the reasons outlined throughout this Statement of Case, the appeal site represents an entirely suitable location for the proposed affordable housing development. To summarise, the site is consistent with the ALDP spatial strategy by virtue of it involving the regeneration of an underutilised brownfield site to increase the much-needed supply of affordable housing (with ancillary specialist provision). The sustainable reuse of an existing long-term vacant building also complies with NPF4 Policies 1, 2, 9 and 12, which collectively prioritise the reuse of vacant brownfield sites over demolition. Furthermore, the proposal is well suited to the existing land use context and supports the NPF4 Policy 15 principles of 20 minute neighbourhoods and local living, being on the transitional periphery of an established employment area, close to existing residential communities and a mix of amenities and facilities. The site also fronts a major arterial road that is serviced by high frequency public transport options into and out of the city centre. As such, the proposed development is entirely consistent with NPF4 Policy 16(f)(ii). The proposal also complies with the remainder of the circumstances under NPF4 Policy 16 (f), as outlined in the Report of Handling.
- 5.83 As per the Planning for housing: Chief Planner letter (June 2024), the different parts of NPF4 Policy 16 should be weighed up as relevant to the proposal. As such, even though the proposal is considered to comply with the disputed NPF4 Policy 16 (f), the appellant has also provided an assessment against the other relevant parts of NPF4 Policy 16 below, including the overarching intent of the policy. This is to ensure that a balanced planning judgement can be reached in determining the compatibility of the proposal with NPF4 Policy 16.
- 5.84 NPF4 Policy 16 (c) supports proposals that improve affordability and choice, and address identified gaps in provision, as follows:

Development proposals for new homes that improve affordability and choice by being adaptable to changing and diverse needs, and which address identified gaps in provision, will be supported. This could include:

- i. Self-provided homes;*
 - ii. Accessible, adaptable and wheelchair accessible homes;*
 - iii. Build to rent;*
 - iv. Affordable homes;*
 - v. A range of size of homes such as those for larger families;*
 - vi. Homes for older people, including supported accommodation, care homes and sheltered housing;*
 - vii. Homes for people undertaking further and higher education; and*
 - viii. Homes for other specialist groups such as service personnel.*
- (NPF4 Policy 16 (c)) *emphasis added

5.85 The proposal fulfils a few of the sub-categories of housing listed under NPF4 Policy 16 (c) above. It delivers 100% affordable housing, including wheelchair-accessible ground floor units and ancillary specialist provision accommodation designed to adapt to the needs of individuals with a disability or long-term health condition, such as those with bariatric and mental health conditions. The site is allocated as a strategic affordable housing site in the SHIP, meaning that it is a committed project under the Council’s LHS. Accordingly, the proposal clearly supports diverse needs and an identified gap in provision in accordance with Policy 16 (c).

5.86 The intent of NPF4 Policy 16 is:

“To encourage, promote and facilitate the delivery of more high quality, affordable and sustainable homes, in the right locations, providing choice across tenures that meet the diverse housing needs of people and communities across Scotland.”

5.87 Taking a balanced approach in accordance with the Chief Planner letter, the preceding assessment demonstrates that proposal fully complies with the relevant aspects of NPF4 Policy 16. This is because the proposal will enable the timely delivery of high-quality affordable housing in a sustainable and accessible location and will provide a choice of tenure that directly addresses an identified and urgent local housing need. In this context, the proposal clearly advances the overarching intent of NPF4 Policy 16 and this reason for refusal is thus considered to be unfounded.

Other Material Considerations

Energy Transition Zone (ETZ) Masterplan

5.88 The Report of Handling (pg. 23) briefly references the ETZ Masterplan, suggesting that future development associated with the ETZ could intensify impacts on residential amenity, such as through increased traffic. It also suggests that the proposal could undermine the safeguarding of land allocated for business and industrial uses. Specifically, it states:

“The aforementioned issues relating to the safeguarding of land zoned for business and industrial use, quality of residential amenity and pedestrian connectivity are all also likely to be exacerbated by future proposals for the recently approved Energy Transition Zone (which the site and surrounding land fall within the masterplan area for), and the use of Wellington Road and Hareness Road as the main vehicular route (Aberdeen South Harbour Link Road) serving the Aberdeen South Harbour. As such, there is likely to be an increase in the use of the immediately adjacent roads in the future by heavy goods vehicles and other traffic.” (Report of Handling, 23)

- 5.89 The ETZ Masterplan does not identify any planned projects in vicinity of the site. In fact, the majority of planned projects are located either outwith Altens Industrial Estate or on the eastern periphery of the estate. The nearest project is the Innovation Campus development, which was approved on 14 August 2023 (application reference: 230371/DPP). Notably, this project was assessed by ACC Roads Development Management Team and determined to generate fewer vehicle trips than the previous use of the site as the former Trafalgar House office, thereby reducing potential traffic impacts.
- 5.90 In the absence of any live planning applications or committed ETZ Masterplan projects in the immediate vicinity of the appeal site, the suggestion that future ETZ development could exacerbate impacts on residential amenity or the project could impact on the safeguarding of ETZ land is speculative and unfounded. As outlined earlier in this Statement of Case, the proposal must be assessed against the current land use context or any future developments that are supported by either an extant planning permission or live application. Accordingly, there is no credible basis to suggest that the appeal proposal would prejudice the delivery of the ETZ Masterplan or be adversely affected by it.

6. Conclusion

- 6.1 In conclusion, the evidence produced within this Statement of Case and the supporting documentation submitted with the planning application (250202/DPP) is considered to sufficiently demonstrate that the proposed change of use will support the strategic direction and policy principles of the development plan. As such, the proposal should be viewed in a positive manner for the following reasons:

Compatible with the mixed use context: NPF4 has moved away from exclusionary monofunctional zoning practices (i.e. large areas zoned for single uses) and instead encourages more a more holistic mixed use and place-based planning approach that aligns with the principles of 20 minute neighbourhoods. The appeal site lies on the periphery of Altens Industrial Estate adjacent the major transport corridor of Wellington Road, where a variety of residential and other non-employment uses already exist within the B1 Business and Industry designation. The proposed use is compatible with this surrounding mixed-use area, and as such, must be considered in relation to this site-specific context. The proposal would not result in any land use conflict with the B1 Business and Industry zone, nor would it inhibit the use of neighbouring plots for Class 4, 5 or 6 operations; the proposed land use is thus entirely appropriate for the zone.

Delivers much-needed affordable specialist provision housing: The development would deliver 100% affordable housing, including wheelchair accessible affordable accommodation at ground floor level. The flats have been designed for ancillary specialist provision use, with the intention of accommodating people with bariatric conditions, mental health conditions and/or learning disabilities. This is not only in line with NPF4 Policy 16 and ALDP Policies H4 and H5, but also responds directly to an urgent, well-documented and unmet housing need in the city. The proposed housing tenure was agreed in collaboration with ACC's Housing Strategy Team and the ACHSCP well in advance of a planning application being lodged, which is evidenced by the fact that this has been a committed project within the SHIP since at least 2024. The wider health and social care benefits of the proposal, including reducing delayed hospital discharges and enabling independent living, must be afforded significant weight in the planning balance.

Reuse and regeneration of long-term vacant building: The proposal involves the sustainable and efficient reuse of a long-term vacant brownfield building. This directly supports NPF4 Policies 9 and 12, as well as the spatial strategy of the ALDP, which collectively place significant emphasis on the reuse of existing buildings / brownfield sites. The proposed change of use is a positive solution to the climate emergency as it will ensure the demolition of the building and consequential loss of embodied carbons is prevented, which and should be given significant weight in accordance with NPF4 Policies 1 and 2. In a context where the market for Class 4 use is evidence to be clearly struggling, retaining the current vacant building for Class 4 use is unviable and would eventually necessitate its demolition in accordance with the existing demolition warrant (reference: 240701).

Creates a high quality residential environment: The internal layout, daylight strategy, open space design, boundary / privacy treatments and acoustic mitigation measures have all been carefully considered and developed by the architect to optimise residential amenity and functionality. The resultant design ensures a high quality place and pleasant residential environment that is proportionate to the challenges of converting a constrained brownfield site and complies with the provisions of NPF4 Policies 14 and 23, ALDP Policies D1, D2, NE2, WB1 and WB3 and the associated planning guidance. Environmental Health raised no objections to the proposed change of use.

Supports accessibility and 20 minute neighbourhoods: The site is well placed for residents to meet the majority of their daily needs within a reasonable distance of the site in accordance with the principles of 20 minute neighbourhoods. The primary concern, regarding the lack of a signalised pedestrian crossing over Hareness Road, can be addressed through the imposition of a planning condition, which is a viable solution acknowledged by the Planning Service itself. The appellant fully supports this mitigation, which would enhance pedestrian connectivity and align with NPF4 Policies 13 and 15. The Council's Roads Development Management Team raised no objections to the proposal and confirmed the area is well-served by public transport.

Suitable location for housing: The proposal fully satisfies the requirements of NPF4 Policy 16(f)(ii), given it supports reusing a long-term vacant brownfield asset, is in proximity to amenities and public transport, and will integrate successfully into the existing mixed use urban environment. Furthermore, the proposal directly supports the aims of Policy 16(c) by delivering 100% affordable and wheelchair-accessible housing, including ancillary specialist provision accommodation that addresses a clear, identified gap in local housing need. In doing so, it advances the overarching purpose of Policy 16, which is to deliver high-quality, affordable, and sustainable homes in the right locations.

Enhances biodiversity: The landscape planting strategy will deliver a significant biodiversity enhancement for the site, particularly given the proposal seeks to reuse rather than demolish and redevelop the existing building. As confirmed by the Report of Handling, the proposed landscape and biodiversity enhancement scheme accords with the requirements of Policies D5 and NE5 of the ALDP and Policies 3 and 6 of NPF4.

- 6.2 We trust that, from the information set out in this statement, the Local Review Body will be able to agree with the merits of this scheme and allow this appeal under section 43A of the Town and Country Planning (Scotland) Act 1997.

**Appendix 1: Comments from NHS Grampian, Audrey Nicoll
MSP and Stephen Flynn MP**



The Scottish Parliament
Pàrlamaid na h-Alba

Audrey Nicoll MSP

Member of the Scottish Parliament for Aberdeen South and North Kincardine constituency

Angela Scott
Chief Executive
Aberdeen City Council

Our Ref: AN3377

11 July 2025

Dear Angela,

Re: Appeal for Planning Application 250202/DPP – Loirston House

I am writing in support of the appeal relating to the above planning application for Loirston House, and to which my accompanying correspondence refers.

The planning application proposes converting a previous office building into specialist provision social housing consisting of nine wheelchair accessible ground floor flats to accommodate bariatric patients, with the remaining flats assigned to tenants with complex cognitive disabilities or conditions.

The reason I am highlighting my support of Planning Application 250202/DPP is due to its strong alignment with key strategies and aims of both local and national policy, which I have detailed below.

Foremost, the inclusion of wheelchair accessible accommodation adheres to the key priorities in the Council's Local Housing Strategy, and further supports the Council's Strategic Housing Investment Plan (SHIP) which aims to have wheelchair access in a minimum of 15% of affordable housing. Likewise, the proposals will help address the shortfall in wheelchair accessible housing which had been identified in the 'Still Minding the Step?' report by Horizon Housing. The report estimates that there are approximately 737 households in Aberdeen currently not having their needs met due to a lack of wheelchair accessibility.

Moreover, the proposals further support the Council's Local Housing Strategy through providing sufficient accommodation for people with bariatric care needs, complex mental health problems and/ or learning disabilities. The provision for specialist accommodation further assists the Local Housing Strategy in reducing the discharge times for patients in hospitals who are unable to leave due to a lack of suitable housing. This is echoed in the Aberdeen Health and Social Care Partnership's (HSCP) Market Position Statement's for 'Mental Health and Learning Disability Services and Complex Care' which identifies 31 individuals with complex care needs who require specialist housing in Aberdeen. Furthermore, the proposals set out are additionally in line with the Scottish Government's 'Coming Home Implementation' report which outlines priorities for reducing inappropriate hospital stays for people with learning disabilities and/ or complex care needs.

Audrey Nicoll MSP | Aberdeen South and North Kincardine

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F: @AudreyNicollMSP | **I:** @Audrey.Nicoll | **X:** @Audrey4asnk

Lastly, I am conscious that bariatric housing provision is more often than not a significant expense due to the requirements of a reinforced concrete structure. However, as Loirston House already meets these requirements, the overall cost to provide specialist bariatric housing will be significantly lower, particularly when compared to a new housing development. As such, I consider that planning application's proposals present a more timeous and affordable alternative to achieve the outcomes detailed above.

To conclude, the planning application sets forth proposals which adheres to a range of local and national housing policy, and additionally meets a specific and bespoke housing need that is in very short supply. I am also mindful that the provisions within the planning application would be of significant benefit to the tenants who could be housed there, and will improve the social and health outcomes of such individuals. It is for this reason that I am writing in support of Planning Application 250202/DPP, and I would be grateful for the Council's to place their careful consideration behind its appeal.

Thank you for your attention to this matter.

Kind regards,

A handwritten signature in black ink that reads "Audrey N: 2011". The signature is written in a cursive, slightly slanted style.

Audrey Nicoll MSP
Member of the Scottish Parliament for
Aberdeen South and North Kincardine



The Scottish Parliament
Pàrlamaid na h-Alba

Audrey Nicoll MSP

Member of the Scottish Parliament for Aberdeen South and North Kincardine constituency

Angela Scott
Chief Executive
Aberdeen City Council

Our Ref: AN3377

11 July 2025

Dear Angela,

Re: Planning Application 250202/DPP – Loirston House

I am writing to you following a meeting I had with Mr Bradley Craig in relation to the planning application listed above.

Mr Craig's client is the owner of Loirston House, which is the site address of the planning application. For your information, the planning application outlines proposals to convert a former office building into 24 residential flats, with an additional view to provide affordable and specialist accommodation. Of the 24 flats, nine would be located on the ground floor with wheelchair access, and would accommodate bariatric patients. The remaining 13 properties, located on the first floor of the building, would further accommodate tenants with complex care needs.

The building is no longer in use and the owner has always been keen to afford an opportunity for the building to be put to good use, in such a way that could address an unmet need within the social housing sector. The proposed development aligns with a number of strategic priorities identified by Aberdeen City Council and Aberdeen Health and Social Care Partnership (HSCP), and likewise aligns with the policies set out in the National Planning Framework 4 (NPF4). In particular, I am mindful that this proposal addresses shortfalls in specialist social housing provision, and further reduces the number of hospital patients remaining in hospital due to a lack of suitable accommodation. Furthermore, I have been advised that repurposing the existing Loirston House building would allow for significant savings to be made due to its already reinforced structure. Thus, providing an affordable alternative to achieving the Council's target of building a further 10 homes to meet the needs of bariatric patients.

Despite successfully adhering to both local and national strategy, the planning application has regrettably been refused due to the site's location on a land zoned in the Local Development Plan for business and industrial use. With this in mind, however, Mr Craig states that the Health and Social Care Partnership had engaged with him positively on these proposals, and had actively encouraged his client to submit the planning application, addressing an important unmet need in the City.

I note delegated powers were used to process the application despite neighbouring properties being residential. There are three detached houses between the property and the Shell filling

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station. The opposite side of the Wellington Road includes the Redmoss Housing estate and to the north the Nigg Kirk Housing estate adjoining West Tullos.

I understand the local Community Councils were aware of the application and had suggested they would welcome the development as it provided an opportunity to reverse a derelict property in a high visibility location falling into disrepair, while providing a much needed health and social care facility.

Given the strength of support for the application, Mr Craig and his client are understandably extremely disappointed and somewhat confused as to why they had received the support of key stakeholders including the HSCP and community councils, despite the site's location within a business and industrial zone.

Lastly, it is worth noting that the planning application has come at considerable cost to Mr Craig's client. In and of itself, Mr Craig's client accepts this situation, however understandably feels some degree of disappointment that the costs incurred to date were based on something of a false premise. Moving forward, any potential appeal will also incur further costs.

Having met Mr Craig and spoken through this matter in some detail, I am extremely perplexed and disappointed that what appears to have been a strong planning application has been rejected simply on the grounds that the location was at odds with the Local Development Plan. I would therefore ask why this information was not conveyed to Mr Craig prior to him proceeding with his application, and request a more comprehensive explanation as to why the application was rejected, given the very clear support and encouragement that was received in advance of the application being submitted.

I look forward to your response.

Kind regards,

A handwritten signature in black ink that reads "Audrey N: coll". The signature is written in a cursive, slightly slanted style.

Audrey Nicoll MSP
Member of the Scottish Parliament for
Aberdeen South and North Kincardine

From: Kay Diack (NHS Grampian) [REDACTED]
Sent: Wednesday, July 16, 2025 3:45:13 PM [REDACTED]
To: Bradley Craig <bradley@bradleycraigarchitects.com>
Subject: Loirston House

Dear Bradley

I understand that you are now progressing with a Planning Application for Loirston House.

Given my role as Emergency Pathway Operational Manager, and responsibility for optimising patient flow, as well as my former Senior Responsible Officer role for Aberdeen City Health and Social Care Partnership's Independent Living and Specialist Housing Market Position Statement (2024-2034), I feel that it is very clear that the City is in significant need of the type of accommodation proposed. The aforementioned document details the need for bariatric accommodation with tracking and hoisting, wheelchair accessible units and provision for accommodation for people with brain injury, dementia, mental health and learning disabilities.

We experience first hand the issues surrounding patient outflow, given the lack of accommodation of this nature, which ultimately creates flow pressures within acute hospital settings, with delayed discharge and delayed transfer of care featuring significantly.

I can only wish you every success with this work.

Kind regards

Kay

Kay Diack
Emergency Pathway Operational Manager
NHS Grampian
Aberdeen Royal Infirmary

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HOUSE OF COMMONS
LONDON SW1A 0AA

Our Ref: SF18975

6th August 2025

To whom it may concern,

I am writing to you regarding the application of CTL Estates to renovate Loirston House into social housing.

As you will no doubt be aware, there is significant pressure on the current social housing stock in Aberdeen, with a pressing need to provide considerably more availability.

I understand that the scheme is proposing 24 homes for some of the most vulnerable people in the city, including wheelchair accessible and specialist provision social housing.

Investment into the restoration and renovation of existing buildings, such as Loirston House, would no doubt go some way to relieving the pressure on current stock.

As such, I would be grateful for your serious consideration of the proposals.

Yours sincerely,

Stephen Flynn MP
MP for Aberdeen South



Stephen Flynn MP
Member of Parliament for Aberdeen South
House of Commons, London SW1A 0AA
Tel: 01224 213 114
Email: stephen.flynn.mp@parliament.uk

Appendix 2: Relevant Correspondence Between Applicant and ACC Housing Strategy Team

From: Dorothy Askew <DAskew@aberdeencity.gov.uk>
Sent: 29 September 2022 15:15
To: Bradley Craig <bradley@bradleycraigarchitects.com>; Mel Booth <MeBooth@aberdeencity.gov.uk>
Cc: Shona Omand-Smith <S0m.andSmith@aberdeencity.gov.uk>; Catherine King <CatKing@aberdeencity.gov.uk>; Steven Stark <SSStark@aberdeencity.gov.uk>; Katharine Paton <KPaton@aberdeencity.gov.uk>; Nicola McLean <NMcLean@aberdeencity.gov.uk>
Subject: RE: Loirston House.

Hello Bradley

I have consulted with colleagues in Health and Social Care. They have confirmed that 'in principle' they would be supportive of the development of Loirston House for specialist provision and would be interested to see indicative plans of what could be provided there.

Look forward to hearing from you.

Kind regards
Dorothy

From: bradley@bradleycraigarchitects.com <bradley@bradleycraigarchitects.com>
Sent: 27 September 2022 15:53
To: Dorothy Askew <DAskew@aberdeencity.gov.uk>; Mel Booth <MeBooth@aberdeencity.gov.uk>
Subject: Loirston House.

Dorothy, Mel,

Hillcrest undertook a site visit of Loirston House on Friday, and were happy with the conditions of the site for internal conversion. Since then, David Milton has confirmed that Hillcrest are interested in Loirston House, and will offer RSL assistance for the site if there is a need for this from the local authority. The site does offer potential use for specialist housing.

To move things forward, my client will allow me site access to undertake a survey and develop proposals on the basis that there is a requirement from the council for this site. I would be grateful if this could be confirmed at the earliest juncture.

Mel,

I know you are on holiday, just CC'in you into this for reference only.

Regards,

Bradley Craig RIBA RIAS ARB
Principal



+44 (0)7951 641 496

bradley@bradleycraigarchitects.com

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From: Mel Booth <MeBooth@aberdeencity.gov.uk>
Sent: 30 June 2023 16:11
To: Bradley Craig <bradley@bradleycraigarchitects.com>
Cc: David Milton [REDACTED]
Subject: Loirstor [REDACTED]

Hi Bradley,

The HSCP met this week and have confirmed they want to take this site forward. We look forward to receiving proposals and we will confirm what our exact requirements are, in due course.

Thanks,

Mel



Mel Booth | Senior Housing Strategy Officer
Aberdeen City Council | Strategic Place Planning | Place
Marischal College | Broad Street | Aberdeen | AB10 1AB

Direct Dial: 01224 067466

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From: Mel Booth <MeBooth@aberdeencity.gov.uk>
Sent: 05 May 2023 08:44
To: Bradley Craig <bradley@bradleycraigarchitects.com>
Cc: Dorothy Askew <DAskew@aberdeencity.gov.uk>
Subject: Loirston

Morning Bradley,

Hope all is well with you. We have some good news - HSCP have come back and said they're keen to proceed with Loirston. Can we meet w/c 15 May to discuss next steps?

Also, where are you up to with Banks o' Dee planning application?

Thanks,

Mel



Mel Booth | Senior Housing Strategy Officer
Aberdeen City Council | Strategic Place Planning | Place
Marischal College | Broad Street | Aberdeen | AB10 1AB

Direct Dial: 01224 523252

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From: Mel Booth <MeBooth@aberdeencity.gov.uk>
Sent: 03 May 2023 08:52
To: Bradley Craig <bradley@bradleycraigarchitects.com>; Dorothy Askew <DAskew@aberdeencity.gov.uk>
Subject: RE: Loirston House, Aberdeen

Morning Bradley,

I can now confirm that the HSCP are keen to proceed with this development. I'll contact David and ask him to run a financial appraisal so he can give you an offer.

Thanks,

Mel



Mel Booth | Senior Housing Strategy Officer
Aberdeen City Council | Strategic Place Planning | Place
Marischal College | Broad Street | Aberdeen | AB10 1AB

Direct Dial: 01224 523252

www.aberdeencity.gov.uk | Twitter: @AberdeenCC | Facebook.com/AberdeenCC

From: bradley@bradleycraigarchitects.com <bradley@bradleycraigarchitects.com>
Sent: Monday, April 17, 2023 1:30 PM
To: Dorothy Askew <DAskew@aberdeencity.gov.uk>; Mel Booth <MeBooth@aberdeencity.gov.uk>
Subject: Loirston House, Aberdeen

Dorothy, Mel,

Thanks for your time during our meeting this morning, it was most helpful.

As discussed during our meeting with the client's agent, we are now at a critical stage where a decision needs to be made regarding whether this project will be greenlit or not. We did advise previously that the charity was vacating the premises in April this year. In order for the owner to consider the conversion to social housing, he needs to have an assurance in place within the next four weeks. This is because a number of options, including demolition and construction of alternative buildings have been proposed for the site. As you will understand, while the existing building remains vacant, it is subject to hefty commercial rates due to the footprint of the unit.

We are confident that we can deliver a cost-effective solution for bariatric and specialist provision accommodation on site, but there now needs to be a firm decision at a strategic and

funding level for this to happen. Otherwise it is likely that this opportunity will be lost.

I look forward to your comments in due course.

Regards,

Bradley Craig RIBA RIAS ARB
Principal



+44 (0)7951 641 496

bradley@bradleycraigarchitects.com

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From: Mel Booth <MeBooth@aberdeencity.gov.uk>
Sent: 05 December 2022 14:21
To: Bradley Craig <bradley@bradleycraigarchitects.com>
Cc: Dorothy Askew <DAskew@aberdeencity.gov.uk>
Subject: Loirston House

Hi Bradley,

Thanks for your call earlier. I can confirm that further to our site visit, we are interested in this site for specialist provision accommodation. There is a particular interest in some units being made suitable for bariatric people, of which there is currently a shortage of in Aberdeen.

The site is not currently identified in the Strategic Housing Investment Plan (SHIP) but could be presented to committee for approval prior to the next SHIP being finalised. This site would also be prioritised for funding and would be developed in partnership with a RSL. We've had early discussions with Hillcrest Housing Association who have indicated an interest in partnering with us on this. Whilst we are still to agree an appropriate scheme, we are looking forward to progressing this site and look forward to seeing more detailed plans.

Happy to meet over Teams to discuss further with the agent and yourself.

Thanks,

Mel



Mel Booth | Senior Housing Strategy Officer
Aberdeen City Council | Strategic Place Planning | Place
Marischal College | Broad Street | Aberdeen | AB10 1AB

Direct Dial: 01224 523252
www.aberdeencity.gov.uk | Twitter: @AberdeenCC | Facebook.com/AberdeenCC

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Appendix 3: Strategic Housing Investment Plans

STRATEGIC HOUSING INVESTMENT PLAN 2025/26 - 2029/30

Table 1 - AFFORDABLE HOUSING SUPPLY PROGRAMME - Years 1-5 2025/26-2029/30

LOCAL AUTHORITY: Aberdeen City Council

PROJECT	PRIORITY Low / Medium / High	DEVELOPER	UNITS - TENURE					UNITS - BUILT FORM				UNITS - TYPE			APPROVAL DATE Financial Year (Estimated or Actual)	2025/26					2026/27					2027/28					2028/29					2029/30					TOTAL AHSP FUNDING REQUIRED OVER SHIP PERIOD
			Social Rent	Mid Market Rent	Shared Equity	LCHO - Shared Ownership	LCHO - Improvement for Sale	PSR	Total Units	Rehab	Off the Shelf	NB	Total Units	GN		Specialist Provision	Type of Specialist Particular Need (If Known)	Total Units by Type	2025/26	2026/27	2027/28	2028/29	2029/30	TOTAL SITE STARTS OVER PERIOD OF SHIP	2025/26	2026/27	2027/28	2028/29	2029/30	TOTAL COMPLETIONS OVER PERIOD OF SHIP	2025/26	2026/27	2027/28	2028/29	2029/30						
Cloverhill	High	Aberdeen City Council	266					266			266	266	226	40	Wheelchair Access	266	2020/21	266					266	179	87				266	13.000	13.000					26.000					
Kincorth	High	Aberdeen City Council	212					212			212	212	182	30	Wheelchair Access	212	2019/20			212			212		212				212	3.831						3.831					
Craighill	High	Aberdeen City Council	99					99			99	99	86	13	Wheelchair Access	99	2020/21E		99				99		99				99						0.000						
City wide Council buy-back	High	Aberdeen City Council	100					100		100	100	100				100	2025/26	20	20	20	20	20	100	20	20	20	20	20	100	0.600	0.600	0.600	0.600	0.600	3.000						
Stoneywood	High	Aberdeen City Council	8					8			8	8		8	Specialist Provision	8	2024/25	8				8	8					8	1.200						1.200						
Greenferns	Low	TBA	350					350			350	350	298	52	Wheelchair Access	350	2027/28				350						350	350				17.500	17.500		35.000						
Greenferns Landward	Low	TBA	350					350			350	350	298	52	Wheelchair Access	350	2027/28				350						350	350				17.500	17.500		35.000						
Balnagask	High	TBA	364					364			364	364	309	55	Wheelchair Access	364	2027/28				364						364	364		17.500	17.500				35.000						
Pinewood	High	TBA	18					18			18	18	18	0		18	2025/26	18				18	18				18	1.800						1.800							
Craibstone Phase 4	Medium	TBA	68	67				135			135	135	120	15		135	2024/25			135			135		30	40	40	25	135	3.000	3.000	3.000	4.500		13.500						
Former Cordyce School	High	Grampian Housing	22					22			22	22	18	4	Wheelchair Access	22	2025/26		22			22		22				22	2.200						2.200						
Braeside	Medium	Grampian Housing	30					30			30	30	25	5	Wheelchair Access	30	2025/26		30			30			30			30		3.000					3.000						
Countesswells	High	Osprey	20					20			20	20				20	2025/26		20			20		20			20	2.000						2.000							
Beech Court, Constitution Street	High	Osprey	6					6	6		6	6				6	2025/26	6			6		6				6	0.638						0.638							
Banks O' Dee Care Home, Abbotswell Road	High	Hillcrest Homes	24					24			24	24	0	24	Specialist Provision	24	2024/25		24			24		24				24	1.200						1.200						
Loirston House	Medium	Hillcrest Homes	27					27	27		27			27	Specialist Provision	27	2025/26		27			27			27			27		2.700					2.700						
Oscar Road	High	Hillcrest Homes	18					18			18	18	15	3	Wheelchair Access	18	2024/25		18			18		18				18	1.200						1.200						
Union Street	High	Hillcrest Homes	15					15	15		15	15				15	2023/24					0	15					15	0.132						0.132						
Maberly Street	High	Hillcrest Homes	17					17	17		17	17				17	2023/24					0		17				17		0.845					0.845						
Market St, Stoneywood	Medium	Hillcrest Homes	19					19			19	19	16	3	Wheelchair Access	19	2025/26			19			19			19		19		1.900					1.900						
Maidencraig	High	Places for People	16	20				36			36	36	36	0		36	2024/25		36			36	36				36	1.847	1.232					3.079							
Milltimber	High	Places for People	12	8				20		20	20	17	3	Wheelchair Access	20	2024/25	20				20		20		20			20		0.980	0.980				1.960						
Silverburn	Medium	Places for People	12	4				16			16	16	13	3	Wheelchair Access	16	2024/25	16				16		16				16		0.900	0.900				1.800						
Grandhome Phase 1	High	Places for People	43	41				84			84	84	84	0		84	2023/24	84				84		50	34			84	2.767	2.768	2.767				8.302						
Grandhome Phase 2	High	Places for People	30	30	12			72			72	72	57	15	Wheelchair Access	72	2025/26	72				72			72			72			1.500	2.000	2.000		5.500						
Froghall Road	Low	Places for People	45	25				70			70	70	59	11	Wheelchair Access	70	2022/23	70				70			70			70			1.000	2.000	2.000		5.000						
AECC	High	Sanctuary Scotland	82					82			82	82	69	13	Wheelchair Access	82	2025/26			82			82			82			82		4.100	4.100			8.200						
LCHO Buybacks	High	Unknown		5				5		5	5	5				5	2025/26	1	1	1	1	1	5	1	1	1	1	5	0.030	0.030	0.030	0.030	0.030		0.150						
Total			2273	200	12	0	0	0	2485	65	145	2275	2485	2109	376	2485		581	297	469	1085	21	2453	277	642	395	61	1110	2485	35.445	52.555	32.377	44.130	39.630	277.000						

STRATEGIC HOUSING INVESTMENT PLAN 2024/25 - 2028/29

Table 1 - AFFORDABLE HOUSING SUPPLY PROGRAMME - Years 1-5 2024/25-2028/29

LOCAL AUTHORITY: Aberdeen City Council

PROJECT	PRIORITY Low / Medium / High	GEOGRAPHIC COORDINATES (X:EASTING Y:NORTHING)	GEOGRAPHIC CODE (Numeric Value - from Drop Down Table Below)	DEVELOPER	UNITS - TENURE						UNITS - BUILT FORM				UNITS - TYPE			GREENER Enter Y or N	APPROVAL DATE Financial Year (Estimated or Actual)	UNITS SITE STARTS					UNITS - COMPLETIONS					SG AHSP FUNDING REQUIREMENT (£0.000M)													
					Social Rent	Mid Market Rent	LCHO - Shared Equity	LCHO - Shared Ownership	LCHO - Improvement for Sale	PSR	Total Units	Rehab	Off the Shelf	NB	Total Units	GN	Specialist Provision			Type of Specialist Particular Need (If Known)	Total Units by Type	2024/25	2025/26	2026/27	2027/28	2028/29	TOTAL SITE STARTS OVER PERIOD OF SHIP	2024/25	2025/26	2026/27	2027/28	2028/29	TOTAL COMPLETIONS OVER PERIOD OF SHIP	2024/25	2025/26	2026/27	2027/28	2028/29	TOTAL AHSP FUNDING REQUIRED OVER SHIP PERIOD				
Cloverhill	High			Aberdeen City Council	471						471		471	471	77	Wheelchair Access	548	Y	2020/21						0	94	171	183	23	471	11.871	11.871	11.871				35.613						
Kincorth	High			Aberdeen City Council	212						212		212	134	78	Wheelchair Access	212	Y	2019/20						0		212				212	1.915	1.916				3.831						
Craighill	High			Aberdeen City Council	99						99		99	81	18	Wheelchair Access	99	Y	2020/21E						0		99				99	1.012	1.013				2.025						
Harris Drive (Tillydrone)	High			Aberdeen City Council	30						30		30	22	8	Wheelchair Access	30	Y	2020/21E						0		30				30					0.000							
Conningham Terrace (Tillydrone)	High			Aberdeen City Council	40						40		40	26	14	Wheelchair Access	40	N	2022/23						0		40				40					0.000							
City wide Council buy-back	High			Aberdeen City Council	500						500		500	500			500	N	2018/19						0	100	100	100	100	100	400	3.000	3.000	3.000	3.000	3.000	15.000						
Greenferns	High			Aberdeen City Council	350						350		350	298	52	Wheelchair Access	350	N	2020/21E				350		350					350	350	5.860	5.860	5.860	5.860	5.860	29.300						
Greenferns Landward	High			Aberdeen City Council	350						350		350	298	52	Wheelchair Access	350	N	2020/21				350		350				350	350	5.860	5.860	5.860	5.860	5.000	28.440							
Former Cordyce School	Medium		6	Grampian Housing	22						22		22	18	4		22	Y	2022/23	22					22	22				22	2.006					2.006							
Braeside	High		6	Grampian Housing	30						30		30	30			30	Y	2022/23	30					30	30				30					2.735	2.735							
Former Victoria Road School	High		6	Grampian Housing	58						58	58	58	58			58	Y	2021/22						0	58				58	2.539					2.539							
15 Maberly Street	High			Hillcrest Homes	17						17	17	17	17			17	Y	2023/24						0	17				17						0.000							
181 Union Street	High			Hillcrest Homes	15						15	15	15	15			15	N	2023/24						0	15				15						0.000							
Stoneywood Gate, Aberdeen	Med		5	Hillcrest Homes	12						12		12	12	12		12	Y	2023/24	12					12	12				12	1.100					1.100							
Banks o' Dee Care Home, Abbotswell Road	High			Hillcrest Homes	24						24		24	24	24	Wheelchair Access	24	N	2023/24						24		24			24	2.200					2.200							
Loirston House	High			Hillcrest Homes	27						27		27	27	27	Specialist provision	27		2023/24		27				27			27	1.200	1.200					2.400								
Oscar Road	High			Hillcrest Homes	21						21		21	21	21		21		2023/24	21					21			21			1.920				1.920								
Maidencraig	HIGH			Places for People	16	20					36		36	36			36	N	2024/25		36				36					0				3.000	3.000								
Don Street (alternative site)	HIGH			Places for People	25						25		25	25	25	Specialist provision	25	Y	2024/25	25					25		25			25	2.200					2.200							
Milltimber	HIGH			Places for People	12	8					20		20	20			20	N	2024/25	20					20		20			20	0.700	1.900				2.600							
Lord Cullen House	LOW			Places for People	19	15					34		34	34	28	6		34	Y	2024/25	34					34		34			34	0.500	2.300				2.800						
Craibstone Phase 4	LOW			Places for People	68	67					135		135	135	120	15		135	Y	2024/25	135					135		30	40	40	25	110	3.000	3.000	3.000	3.000		12.000					
Grandhome	HIGH			Places for People	43	41					84		84	84	84		84	Y	2023/24	84					84		50	34		84	3.400	3.000	1.000			7.400							
Riverside Quarter	High			Places for People	16	14					30		30	30	30		30		2022/23	16					16	16				16	1.628					1.628							
Persley Den	High		6	Sanctuary Scotland Housing Association	150						150		150	150	150		150	N	2021/22						0	150				150	0.000					0.000							
Ellon Road, Bridge of Don	High			Osprey	10						10	10	10	10			10	N	2021/22						0	10				10	0.000					0.000							
Beech Court, Constitution Street	High			Osprey	7						7	7	7	7			7	N	2023/24		7				7	7				7	0.638					0.638							
LCHO Buybacks	High	394350 / 801616	8	Unknown	5						5		5	5			5	N	2020/21	1	1	1	1	1	5	1	1	1	1	1	4	0.030	0.030	0.030	0.030	0.030	0.150						
Total					2644	170	0	0	0	0	2814	107	561	2146	2814	2491	400	0	2891							407	88	1	701	1	1198	532	836	406	164	826	1938	50.659	48.605	30.621	17.750	13.890	161.525

STRATEGIC HOUSING INVESTMENT PLAN 2022/23 - 2026/27

Table 1 - AFFORDABLE HOUSING SUPPLY PROGRAMME - Years 1-5 2022/23-2026/27

LOCAL AUTHORITY: Aberdeen City Council

PROJECT	PRIORITY	DEVELOPER	UNITS - TENURE					UNITS - BUILTING					UNITS - TYPE		GREENER	APPROVAL DATE	FINANCIAL REQUIREMENT (£'000)					TOTAL AFFORDABLE HOUSING REQUIRED OVER 5-YEAR PERIOD		
			Social Rent	Mid Market Rent	LCHD - Shared Equity	LCHD - Shared Ownership	Total Units	Rehab	On the Street	MS	Total Units	Specified Provision	Type of Particular Need (if known)	Total Units by Type			Emer. Y or N	2022/23	2023/24	2024/25	2025/26		2026/27	
Wellheads	High	Aberdeen City Council	263				263									201900								0.000
Sunnyside	High	Aberdeen City Council	369				369									201900								0.000
Kinloch	High	Aberdeen City Council	212				212		212	180	32	Wheelchair Access	212	Y	201900									0.000
Craighill	High	Aberdeen City Council	59				59		59	58	1	Wheelchair Access	59	Y	202001E									0.000
Heris Drive (Flydrome)	High	Aberdeen City Council	30				30		30	22	8	Wheelchair Access	30	Y	202001E	5.145								2.145
Conningham Terrace (Flydrome)	High	Aberdeen City Council	40				40		40	26	14	Wheelchair Access	40	N	202003	2.860								2.860
Kambill	High	Aberdeen City Council	35				35		35	21	14	Wheelchair Access	35	N	202003	2.052								2.052
City wide Council buy-back	High	Aberdeen City Council	200				200	200	200	200	0	Wheelchair Access	200	N	201919	0.000								0.000
Greenfairs	Medium	Aberdeen City Council	350				350		350	298	52	Wheelchair Access	350	N	202001E	13.550								13.550
East Woodcuth	Low	Aberdeen City Council	52				52		52	44	8		52	N	202004									2.364
218 Auchinill Road	High	Aberdeen City Council	52				52		52	52	0		52	N	202003									0.000
Grandhome	High	Aberdeen City Council	95				95		95	81	14		95	N	202003	6.792								6.792
Grainhill	High	Aberdeen City Council	300				300		300	250	50		300	N	202003									10.725
Clevenhill	High	Aberdeen City Council	536				536		536	456	80		536	N	202003									19.162
Burnside	High	Grampian Housing Association	43	58			101		101	101	0		101	N	201900									0.000
Victoria Road School	High	Grampian Housing Association	50				50	41	50	43	7		50	Y	201900	3.500								3.500
77-79 Ross Accord Terrace	Medium	Grampian Housing Association	12				12	12	12	12	0		12	N	201102	0.840								0.840
162 Crown Street	Medium	Grampian Housing Association	9				9	9	9	9	0		9	N	201102	0.630								0.630
Maryfield House	Medium	Grampian Housing Association	8				8	8	8	8	0		8	N	202003	0.560								0.560
Fraghill site	Medium	Grampian Housing Association	95				95		95	86	9	Wheelchair Access	95	N	202003	3.325	3.325							6.650
Oscar Road	Medium	Grampian Housing Association	28				28		28	24	4		28	N	202003	2.160								2.160
The Spire	Low	Grampian Housing Association		20			20	20	20	20	0		20	N	202003	0.880								0.880
13 Malberry Street	High	Hilcrest Homes	17				17		17	17	0		17	Y	202003	1.093								1.093
Kingswells	High	Hilcrest Homes	20				20		20	18	2		20	N	202001									0.000
181 Union Street	High	Hilcrest Homes	17				17		17	17	0		17	N	201102	1.136								1.136
207 Union Street	High	Hilcrest Homes	25				25		25	25	0		25	N	202003	0.500	1.001							1.521
Stairfield (Falkland Avenue)	High	Hilcrest Homes	123	44			167		167	167	0	Wheelchair Access	167	N	202001	2.794								2.794
Newton of Charleston	High	Hilcrest Homes	6				6		6	6	0	Supported Access	6	Y	201102	0.400								0.400
13-15 Auchinill Road	Medium	Hilcrest Homes	17				17		17	15	2		17	Y	202004	1.326								1.326
Grainhill Road	Low	Hilcrest Homes	180	TBC			180		180	0			180	Y	202004									0.000
South Esplanade West	Low	Hilcrest Homes	28	13			41		41	39	2	Wheelchair Access	41	N	202004									2.879
Grainhill	Low	Hilcrest Homes	72				72		72	62	10	Wheelchair Access	72	Y	201102	2.664								2.664
Rewest South	Low	Places for People Scotland/CRC	140	130			270		270	270	0		270	N	202405									6.000
Don Street	High	Cable Rocks/Eldmar	25				25		25	25	0	Substance Misuse	25	N	202003	0.875	0.875							1.750
Craibstone	Medium	Places for People Scotland/CRC	73	90			163		163	163	0		163	N	202405	3.000	5.000	1.400						9.400
Montgomery	Medium	Places for People Scotland/CRC	17	10			27		27	27	0		27	N	202405	3.500	1.000							4.500
May Braid Avenue	Medium	Places for People Scotland	8				8		8	8	0		8	N	202003	0.500								0.500
Cuts	Medium	Places for People Scotland	5				5		5	5	0		5	N	202004	0.400								0.400
Braeside Primary School	High	Places for People Scotland	43				43		43	43	0		43	N	202003	2.000	1.354							3.354
Buckburn Primary School	High	Places for People Scotland	63				63		63	63	0		63	N	202003	3.000	1.914							4.914
Conflow Primary School	High	Places for People Scotland	69				69		69	59	10		69	N	202003		3.000	2.382						5.382
Stoneywood Primary School	High	Places for People Scotland	44				44		44	44	0		44	N	202003			2.000	1.432					3.432
Millimeter	Low	Cable Rocks/Eldmar	20				20		20	20	0		20	N	202004	1.000								1.000
North Anderson Drive	High	Secretary Scotland Housing Association	118				118		118	106	12	3 Wheelchair adapted, 5 supported / 1	118	Y	201718 E	4.300	4.681							8.981
Donade Phase 2	High	Secretary Scotland Housing Association	61				61		61	56	5	Wheelchair Access	61	Y	201718 E	2.758	2.000							4.758
Peniky Dam	High	Secretary Scotland Housing Association	150				150		150	128	22	TBC	150	TBC	202001	3.000	5.000	1.507						11.507
Conflow Road	Low	Cablehill	7				7		7	7	0		7	N	202004	0.374								0.374
Bridge of Don	Low	Osprey	10				10		10	10	0		10	N	201102	0.790								0.790
Silverburn House	Low	Unknown	24				24		24	21	3	Wheelchair Access	24	N	202001E									1.872
Aberdeen Exhibition Centre	Low	Unknown	35				35		35	30	5	Wheelchair Access	35	N	202102E									2.730
Phibode	Low	Unknown	35		35		35		35	30	5		35	N	202405									2.730
Lotion	Unknown	Unknown	23	31			54		54	46	8		54	N	202405	1.794	1.628							3.422
Headglen Triangle	Medium	Unknown	25				25		25	21	4	Wheelchair Access	25	N	202001E	1.425								1.425
Granton Place	Low	Unknown	9				9		9	9	0		9	N	201102	0.630								0.630
LCHD Bayhacks	High	Unknown	1				1		1	1	0		1	N	202001	0.000								0.000
152 Don Street	Low	Unknown	86				86		86	73	13		86	N	202405									3.354
North Donside Road	Low	Unknown	167				167		167	142	25		167	N	202405									3.354
Comarby House AB11 5AR	Low	Unknown	35				35		35	30	5	Wheelchair Access	35	N	202003	2.730								2.730
Caledonian House AB10 1TN	Low	Unknown	47				47		47	40	7	Wheelchair Access	47	N	202003	3.666								3.666
Lord Cullen House, Fraser Place AB25 3UB	Low	Unknown	49				49		49	42	7	Wheelchair Access	49	N	202003	3.822								3.822
Total			4596	369	35	0	5009	211	4938	5030	4461	539	0	5030		58.447	66.260	51.559	55.339	21.511				251.106

Appendix 4: Precedent Planning Decision (Former Banks O' Dee Nursing Home)



DECISION NOTICE

The Town and Country Planning (Scotland) Act 1997

Detailed Planning Permission

Bradley Craig
Bradley Craig Architects
24 Newburgh Crescent
Bridge Of Don
Aberdeen
AB22 8ST

on behalf of **Mosaic Microliving United Kingdom Limited**

Aberdeen City Council in exercise of its powers under the above mentioned Act hereby **grants planning permission** for the development specified below and shown in the approved plans and drawings.

Application Reference Number	230685/DPP
Address of Development	Former Banks O'Dee Nursing Home Abbotswell Road Aberdeen AB12 3AB
Description of Development	Change of use of from class 8 (residential institutions) to form 24no. affordable flats, including formation/replacement of doors and windows; installation of cladding, and alterations to the car park and garden ground with associated works
Date of Decision	25 April 2024

DETAILS OF ANY VARIATION MADE TO THE APPLICATION

In agreement with the applicant, the following variations were made to the application under section 32A of the 1997 act –

Additional information was submitted in relation to drainage, flooding, boundary treatments and pedestrian access

REASON FOR DECISION

The reasons on which the Council has based this decision are as follows –

The proposed change of use of the vacant nursing home building to form affordable residential flats would not result in the loss of any existing business or industrial uses, nor would the development harm the operations of any nearby business or industrial uses, therefore the proposals are not contrary to the aims of Policy B1 (Business and Industrial Land) of the Aberdeen Local Development Plan 2023 (ALDP). Although authorised for use as a nursing home (Class 8), the existing building has lain vacant since 2019 without any viable interest in resuming the authorised nursing home use. Furthermore, there is spare capacity in existing nursing / care homes in Aberdeen City, thus the loss of the existing facility has been adequately justified, in accordance with Policy WB4 (Specialist Care Facilities) of the ALDP. The proposed development would not adversely affect the operations or viability of the neighbouring sports centre and football club, in accordance with Policy CF1 (Existing Community Sites and Facilities) of the ALDP.

The provision of affordable housing, on a sustainably accessible site, which is included in the Aberdeen Strategic Housing Investment Plan, is acceptable in accordance with Policy 16 (Quality Homes) of National Planning Framework 4 (NPF4) and the sustainable re-use of a brownfield site, including a vacant building is compliant with the aims of Policies 9 (Brownfield, Vacant and Derelict Land and Empty Buildings) and 12 (Zero Waste) of NPF4.

A satisfactory level of amenity would, on balance, be afforded to the residents of the proposed development, in accordance with the requirements of Policy D2 (Amenity) of the ALDP and sufficient open space would be provided, in accordance with Policy NE2 (Green and Blue Infrastructure) of the ALDP. Subject to the implementation of mitigation measures, the residents of the development would not be significantly affected by any external sources of noise, in accordance with the requirements of Policy 23 (Health and Safety) of NPF4 and Policy WB3 (Noise) of the ALDP.

The development would be of an appropriate design quality for the application site context and would meet the six qualities of successful placemaking as set out in Policy 14 (Design, quality and place) of NPF4 and Policy D1 (Quality Placemaking) of the ALDP. The development would be in a sustainably accessible location, within walking and cycling distance of various amenities and facilities, in accordance with the aims of Policy 15 (Local Living and 20 Minute Neighbourhoods) of NPF4. Subject to the delivery of a safe means of pedestrian access to the site via condition, the site would be accessible via sustainable and active modes of transport, in accordance with Policies 13 (Sustainable Transport) of NPF4 and T2 (Sustainable Transport) of the ALDP. Sufficient car parking would be provided for the proposed use, in accordance with Policy T3 (Parking) of the ALDP.

The development would exceed the 25% affordable housing requirement as set out in Policy 16 (Quality Homes) and Policy H5 (Affordable Housing) of the ALDP and developer obligations shall be secured to offset the impact of the development on local healthcare facilities and the core path network, in accordance with Policies 18 (Infrastructure First) of NPF4 and I1 (Infrastructure Delivery and Planning Obligations) of the ALDP.

The proposed development is also generally compliant with all other relevant policies in NPF4 and the ALDP in relation to: density, housing mix, natural heritage, trees, landscaping, climate change, biodiversity, flooding & drainage, waste management, digital infrastructure, suicide risk and healthy developments.



A full evaluation and account of the processing of the application is contained in the report of handling, which is available by entering the application reference number at <https://publicaccess.aberdeency.gov.uk/>.

CONDITIONS

This permission is granted subject to the following conditions:

(1) DURATION OF PERMISSION

The development to which this notice relates must be begun not later than the expiration of 3 years beginning with the date of this notice. If development has not begun at the expiration of the 3-year period, the planning permission lapses.

Reason - in accordance with section 58 (duration of planning permission) of the 1997 act.

(2) SCHEME FOR SAFE MEANS OF PEDESTRIAN ACCESS

The development hereby approved shall not be occupied unless a scheme for the safe means of pedestrian and wheelchair access to and from the site from Abbotswell Road has been submitted to and agreed in writing by the Planning Authority and thereafter the approved scheme has been implemented in accordance with the agreed details, prior to the occupation of the development.

Reason: In order to ensure that the development can be accessed safely by walking and wheeling.

(3) NOISE MITIGATION

The development hereby approved shall not be occupied unless the critical noise mitigation measures set out in the 'Mitigation' section on Pages 17-20 of the approved Noise Impact Assessment (Couper Acoustics - Ref: 1029212314 - V1, Date: 8 June 2022) have been implemented in full.

Reason: In order to protect the residents of the development from external sources of noise and to protect the operations and viability of neighbouring commercial uses.

(4) SOFT LANDSCAPING AND TREE PLANTING

No works in connection with the development hereby approved shall take place unless a scheme of soft landscaping works has been submitted to and approved in writing by the Planning Authority.

Details of the scheme shall include:

- (i) Existing landscape features and vegetation to be retained;
- (ii) The location of new trees, shrubs, hedges, grassed areas;
- (iii) A schedule of planting to comprise species, plant sizes and proposed numbers and density;
- (iv) An indication of existing trees, shrubs and hedges to be removed.
- (v) A programme for the completion and subsequent maintenance of the proposed landscaping.

All soft landscaping proposals shall be carried out in accordance with the approved scheme and shall be completed no later than the planting season immediately following the commencement of the development or such other date as may be agreed in writing with the Planning Authority. Any

planting which, within a period of 5 years from the completion of the development, in the opinion of the Planning Authority is dying, being severely damaged or becoming seriously diseased, shall be replaced by plants of similar size and species to those originally required to be planted.

In addition, prior to the commencement of the implementation of the approved scheme, detailed proposals for a programme for the long term management and maintenance of all the approved landscaped and open space areas within the development shall be submitted for the further written approval of the Planning Authority. Thereafter, all management and maintenance of the landscaped and open space areas shall be implemented, in perpetuity, in accordance with the approved programme.

Reason: To ensure the implementation of a satisfactory scheme of landscaping which will help to integrate the proposed development into the local landscape in the interests of the visual amenity of the area and to ensure that the landscaping is managed and maintained in perpetuity.

(5) HARD LANDSCAPING MATERIALS

No works in connection with the development hereby approved shall take place unless a scheme of hard landscaping works, including the surface materials to be used for all roads, car parking areas, footpaths and other areas of hard landscaping, has been submitted to and approved in writing by the Planning Authority. Thereafter no flat shall be occupied unless the works have taken place in accordance with the agreed details.

Reason: To ensure the use of satisfactory materials for the hard-landscaped aspects of the development.

(6) CAR PARKING

The development hereby approved shall not be occupied unless the car parking area has been laid out in accordance with the details shown on approved Bradley Craig Architects drawing D(0-01) Revision H (Proposed Site Plan), or other such drawing as may be agreed in writing with the Planning Authority.

Reason: In order to ensure that sufficient car parking is provided for the development.

(7) BOUNDARIES

The development hereby approved shall not be occupied unless a detailed scheme of site and plot boundary enclosures (including all fences and walls) for the entire development has been submitted to and approved in writing by the Planning Authority. Thereafter the boundary treatments shall be installed in accordance with the agreed details prior to occupation.

Reason: in order to preserve the character and amenity of the area.

(8) ELECTRIC VEHICLE CHARGING POINTS

The development hereby approved shall not be occupied unless details of all electric vehicle charging points to be installed in the car parking area have been submitted to, agreed in writing with, the Planning Authority and the charge points have thereafter been installed in accordance with the agreed details.

Reason: In order to ensure that sufficient electric vehicle charging points would be provided, thus encouraging the use of sustainably powered vehicles.

(9) TREE PROTECTION

No development in relation to the extension of the car park shall take place unless a detailed cross-section and construction methodology for the areas of the extended car parking area that would be formed within the root protection areas of trees to be retained, as shown on the approved Tree Survey Site Plan drawing (Struan Dalgleish Arboriculture - March 2023 - Appendix 1), has been submitted to and agreed in writing with the Planning Authority. Thereafter the works shall not take place other than in accordance with the agreed details. All other works within the site shall not take place other than in accordance with the tree protection details set out in sections 4.3 and 4.4 of the approved Tree Survey.

Reason: in order to ensure adequate protection for the trees on site during the construction of the development.

(10) DRAINAGE INFRASTRUCTURE

No development shall take place unless a scheme of all new drainage infrastructure, designed to meet the requirements of Sustainable Urban Drainage Systems, has been submitted to and approved in writing by the Planning Authority and thereafter no part of the development shall be occupied unless the drainage has been installed in complete accordance with the agreed scheme.

Reason: in order to safeguard water qualities in adjacent watercourses and to ensure that the development can be adequately drained.

(11) WASTE MANAGEMENT

The development hereby approved shall not be occupied unless the bin store area shown on approved drawings D(0-)01 Revision H (Proposed Site Plan) and D(0-)05 Revision B (Proposed Elevations) has been constructed and the required bins (2 x 1280l general waste, 2 x 1280l mixed recycling and 1 x food waste container) have been installed and are made available for use by residents upon occupation.

Reason: In order to ensure that waste and recyclables generated by the development would be securely and hygienically stored pending collection.

(12) CYCLE PARKING

The development hereby approved shall not be occupied unless details of the cycle racks to be installed within the Ground Floor cycle store have been submitted to and approved in writing by the Planning Authority. Thereafter the cycle storage facility shall be provided as shown on approved drawing D(0-)02 Revision G (Proposed Ground Floor Plan) and with the approved racks installed prior to occupation.

Reason: In the interests of encouraging more sustainable and active modes of travel.

(13) RESIDENTIAL TRAVEL PACK

No unit shall be occupied unless a residential travel pack has been submitted to and approved in writing by the planning authority. Each residential travel pack shall identify details of different travel options available in the area in order to discourage the use of the private car. The approved travel pack shall be supplied to the occupants of every residential unit on occupation.

Reason - In order to reduce dependency on the private car for travel.

(14) BROADBAND CONNECTION

No unit shall be occupied unless a scheme for the provision of a full fibre broadband connection to each flat has been submitted to and approved in writing by the planning authority. Thereafter the scheme shall be implemented as approved and no flat shall be occupied unless provided with a full fibre broadband connection.

Reason: In order to provide all flats with access to high-speed communications infrastructure, in accordance with the requirements of Policy CI1 (Digital Infrastructure) of the Aberdeen Local Development Plan 2023.

(15) EXTERNAL LIGHTING

The development hereby approved shall not be occupied unless a scheme for all external lighting within the development has been submitted to and approved in writing by the Planning Authority, and thereafter implemented in full accordance with said scheme.

Reason: In the interests of public safety.

APPROVED PLANS AND DRAWINGS

D (0-) 03 C	First Floor Plan (Proposed)
D (0-) 05 B	Multiple Elevations (Proposed)
D (0-) 06	Other Elevation (Proposed)
23136-SK-06A	Site Layout (Other)
230046-000 A	Drainage Assessment
D (0-) 01 H	Site Layout (Proposed)
D (0-) 02 G	Ground Floor Plan (Proposed)
6707	Location Plan
230046-000 Rev 1.2	Drainage Assessment
Tree Survey Appendix 1 - BS	Other Drawing or Plan
5837:2012	
Couper Acoustics - Ref 1029212314 - V1 - Date 8 June 2022	Noise Assessment

Signed on behalf of the planning authority



Daniel Lewis
Development Management Manager

IMPORTANT INFORMATION RELATED TO THIS DECISION NOTICE

RIGHT OF APPEAL

If the applicant is aggrieved by the decision of the planning authority –

- 1 to refuse planning permission for the proposed development;
- 2 to refuse approval, consent or agreement require by a condition imposed on a grant of planning permissions;
- 3 to grant planning permission or approval, consent or agreement subject to conditions,

the applicant may appeal to the Scottish Ministers under section 47 of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice.

Information on how to submit an appeal is available at <https://www.gov.scot/publications/planning-appeals-forms-guidance-list> or from –

Planning and Environmental Appeals Division (DPEA)
Ground Floor
Hadrian House
Callendar Business Park
Callendar Road
Falkirk
FK1 1XR

Telephone: 0300 244 6668
E-mail: DPEA@gov.scot

SERVICE OF PURCHASE NOTICE

If permission to develop land is refused or granted subject to conditions, and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been permitted, the owners of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997 (as amended).

CONDITIONS



Failure to comply with any condition or limitation subject to which planning permission has been granted is a breach of planning control and may lead to enforcement action being initiated.

A request to discharge a condition which requires the submission and approval of information must be made by submitting the form available at <https://www.aberdeencity.gov.uk/post-decision-submissions>.

LEGAL AGREEMENT

This permission is subject to a legal agreement under section 75 of the Town and Country Planning (Scotland) Act 1997 or section 69 of the Local Government (Scotland) Act 1973. The agreement may be inspected online by entering the application reference number at <https://publicaccess.aberdeencity.gov.uk/>.

COMMENCEMENT AND COMPLETION OF DEVELOPMENT

Prior to implementing this planning permission, a person intending to do so, must give notice to the Council of the date development is expected to commence, by submitting Form A. Failure to do so is a breach of planning control and may lead to enforcement action being initiated.

Subsequently, as soon as is practicable after completion of the development, notice must be given to the Council of the completion date, by submitting Form B.

Forms can be submitted to pi@aberdeencity.gov.uk.

OTHER CONSENTS

This permission does not provide exemption from obtaining other consents administered by Aberdeen City Council, such as advertisement consent, listed building consent, building warrant, premises license, or roads construction consent. Those carrying out development associated with this permission are responsible for obtaining all relevant consents from the Council and other regulatory bodies.

OTHER ADVISORY NOTES

(1) NOISE FROM CONSTRUCTION WORKS

Operations creating noise which is audible at sensitive receptors should not occur outside the hours of 7am to 7pm Monday to Friday and 8am to 1pm on Saturdays.

(2) BIN PROVISION

The 24 flats will be provided with:

- o 2 x 1280l general waste container 128CM W X 145CM H X 100CM D (90cm minimum clearance to manoeuvre bins)
- o 2 x 1280l co-mingled recycling container 128CM W X 145CM H X 100CM D (90cm minimum clearance to manoeuvre bins)
- o 1 x food waste container for each bin store. 62CM W X 129.8CM H X 74CM D (80CM X 80CM (90cm minimum clearance to remove internal bin from front opening casing)
- o 24 x kitchen caddy and caddy liners (for each property)

When planning bin stores, please take these measurements into account to ensure ease of use residents and collection for crew.

The following costs will be charged to the developer:

- o Each 1280l bin costs £454.00
- o Each food waste container costs £566.00
- o Kitchen caddy and caddy liners £0.00
- o A delivery of 10 or less bins will incur a £33 delivery fee.

No garden waste will be provided for flat residences as it is assumed grounds will be maintained as part of a service charge for the building and undertaken by a commercial contractor.

It is pertinent to note that these services will be provided taking account of the following:

- o No excess should be stored out with the containment provided. This is fly tipping.
- o If the bin store will be locked and/ or involve a barrier, 8 keys must be provided for each store, providing access to the different collection crews and Recycling Officer for monitoring contamination. These should be dispatched to the Waste Team.

- o Large item collections can be arranged by visiting www.aberdeencity.gov.uk
- o Further information can be found in the Waste Supplementary Guidance available at: <https://www.aberdeencity.gov.uk/sites/default/files/2020-07/7.1.PolicySG.ResourcesForNewDevelopmentUpdateJuly2020.pdf>
- o Developers must contact Aberdeen City Council a minimum of ONE month before properties will be occupied this is to ensure that bins are on site prior to residents moving into properties and to give enough time to register addresses on the CAG (Council Address Gazetteer) to allow for the development to be added to the refuse vehicle routes.
- o A Purchase Order should be raised with Aberdeen City Council using the above details and we will provide further guidance for purchasing the bins.
- o Please submit a PO for the bins you require.

Should you have any further queries or wish to discuss these comments further, please do not hesitate to contact wasteplanning@aberdeencity.gov.uk

Notification of Initiation of Development

Town and Country Planning (Scotland) Act 1997 – Section 27B

Application reference number: 230685/DPP

Site address: Former Banks O'Dee Nursing Home, Abbotswell Road

Date of decision: 25 April 2024

Person or company intending to carry out the development	
Name and address	
Phone number or e-mail address	
Owner of the land to which the development relates (if different from above)	
Name and address	
Phone number or e-mail address	
Site agent or contractor appointed to oversee development	
Name and address	
Phone number or e-mail address	

Date it is intended to initiate development: DD / MM / YYYY

General Data Protection Regulations – How we use your data

Aberdeen City Council collects, maintains and processes automatically information about you for the purposes of processing and determining planning applications and may be used for consultation purposes where applicable under legislation. Information will be disclosed only in accordance with the requirements of the Town and Country Planning (Scotland) Act 1997 or otherwise as required by law, including disclosure to other agencies (for example Scottish Fire and Rescue Service, Police Scotland, NatureScot, Historic Environment Scotland) as required for the purposes of determining this application.

For the purposes of processing this information Aberdeen City Council is the Data Controller. The Information Commissioner Office is the UK's regulator of data protection law (www.ico.org.uk). For further information on how we use, store & protect your data please see our website www.aberdeencity.gov.uk/your-data/privacy-notice/your-data-planning-application

Notification of Completion of Development

Town and Country Planning (Scotland) Act 1997 – Section 27B

Application reference number: 230685/DPP

Site address: Former Banks O'Dee Nursing Home, Abbotswell Road

Date of decision: 25 April 2024

Person or company completing development	
Name and address	
Phone number or e-mail address	

Date on which development was completed:

DD / MM / YYYY

General Data Protection Regulations – How we use your data

Aberdeen City Council collects, maintains and processes automatically information about you for the purposes of processing and determining planning applications and may be used for consultation purposes where applicable under legislation. Information will be disclosed only in accordance with the requirements of the Town and Country Planning (Scotland) Act 1997 or otherwise as required by law, including disclosure to other agencies (for example Scottish Fire and Rescue Service, Police Scotland, NatureScot, Historic Environment Scotland) as required for the purposes of determining this application.

For the purposes of processing this information Aberdeen City Council is the Data Controller. The Information Commissioner Office is the UK's regulator of data protection law (www.ico.org.uk). For further information on how we use, store & protect your data please see our website www.aberdeencity.gov.uk/your-data/privacy-notices/your-data-planning-application

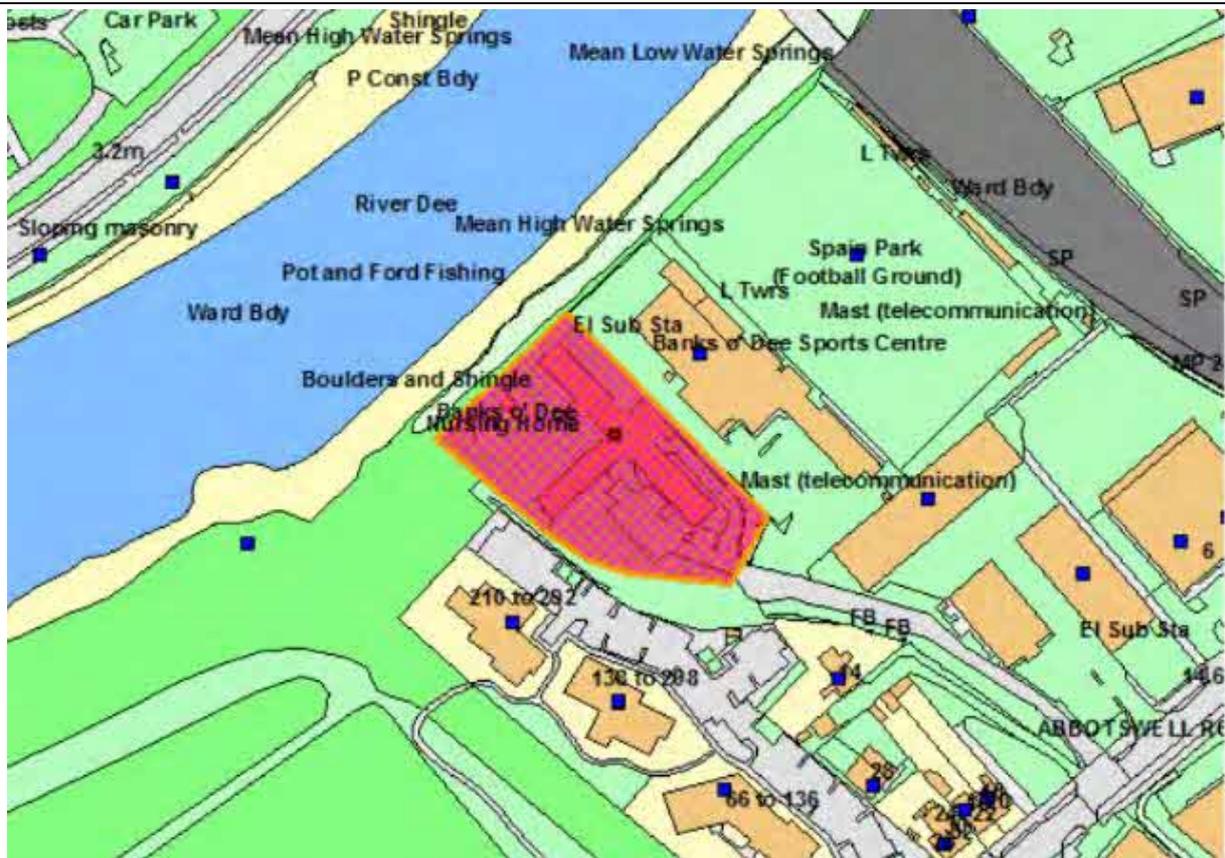


Planning Development Management Committee

Report by Development Management Manager

Committee Date: 2 November 2023

Site Address:	Former Banks O' Dee Nursing Home, Abbotswell Road, Aberdeen, AB12 3AB
Application Description:	Change of use of from class 8 (residential institutions) to form 24no. affordable flats, including formation/replacement of doors and windows; installation of cladding, and alterations to the car park and garden ground with associated works
Application Ref:	230685/DPP
Application Type	Detailed Planning Permission
Application Date:	8 June 2023
Applicant:	Mosaic Microliving United Kingdom Limited
Ward:	Kincorth/Nigg/Cove
Community Council:	Torry
Case Officer:	Alex Ferguson



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RECOMMENDATION

Approve Conditionally & Legal Agreement

APPLICATION BACKGROUND

Site Description

The application site comprises the building and curtilage of the former Banks o' Dee Nursing Home, a 2-storey late 20th Century, pitch-roofed building with an approximately 'T'-shaped footprint, situated within a c. 5,000sqm plot of land 135m to the north-west of Abbotswell Road. The building has lain vacant and boarded up since ceasing to function as a nursing home in 2019. The site is bound to the north-east by the Banks o' Dee Sports Centre, which includes Spain Park - the home of Banks o' Dee Football Club. The River Dee flows to the north-west of the site at a lower level and a small burn which feeds into the Dee runs along the southern and western edges of the site, with a modern flatted housing development beyond to the south west. An unadopted access road serves both the site and the adjacent sports centre from Abbotswell Road. The road incorporates a painted pedestrian route on its north-eastern side. The site and the wider area to the east is zoned in the Aberdeen Local Development Plan 2023 as Business and Industrial Land and business and industrial units (a mix of Class 4: Office, 5: General Industrial and 6: Storage and Distribution uses) lie between the site and Abbotswell Road, to the east of the application site.

Relevant Planning History

961356 – Planning permission was approved in 1996 for the erection of a nursing home for the elderly and for a new clubhouse for the adjacent football club.

APPLICATION DESCRIPTION

Description of Proposal

Detailed planning permission is sought to change the use of the former nursing home building to form 24 residential flats, with associated alterations to the external appearance of the building, car parking, bin store, boundary treatments and landscaping.

The physical works to the existing building and its curtilage would involve the following:

- Stripping of the existing building's external walls and the installation of new walls, windows and doors;
- Removal of the existing two storey projection on the building's eastern elevation;
- Extension and alteration of the existing car parking area in the front curtilage to provide a total of 24 parking spaces;
- Installation of new boundary treatments, including timber fencing to delineate private garden areas and a 2.m high close-boarded timber fence along the eastern boundary of the site, to provide an acoustic barrier to the adjacent sports centre;
- Removal of 10no trees and the planting of 10no new trees and other soft landscaping; and
- Formation of a bin store.

Operational Statement

The applicant has submitted an Operational Statement which notes that, once the physical works for which permission is sought have been implemented, the intention would be for the flats to be occupied by individuals with care needs, some complex, and that care would be provided to the residents by members of staff. This application seeks permission for a fallback position to operate the flats as mainstream affordable housing, with no associated care provision, should the care element cease at any point in the future. The Planning Service considers that the intended use of

the building as a care facility does not require planning permission, as that use would fall within the existing authorised use of the property as a care home (Class 8 – Residential Institutions). This application seeks permission for the applicant's 'fallback' position of 24 mainstream residential flats (sui generis) to be operated as affordable housing and the application is thus assessed accordingly in the following evaluation.

Amendments

With the agreement of the applicant, the following amendments were made to the application following the initial submission:

- A Transport Statement, Operational Statement and a Statement Justifying the Loss of the Existing Care Home use were all submitted;
- An updated Drainage Impact Assessment & Flood Risk Assessment was submitted;
- Minor alterations were made to the proposed building's door and window openings, and to boundary treatments, including the installation of a close-boarded timber acoustic-barrier fence along the north-eastern boundary;
- An indicative pedestrian bridge link over the burn to the neighbouring residential site was incorporated into the plans, albeit it lies outwith the application site and would be subject to a separate planning application.

Renotification of neighbours was carried out as a result of the amendments made.

Supporting Documents

All drawings and supporting documents listed below can be viewed on the Council's website at:

<https://publicaccess.aberdeencity.gov.uk/online-applications/applicationDetails.do?activeTab=documents&keyVal=RVS6TZBZK7A00>

- Design & Access Statement
- Drainage Impact Assessment & Flood Risk Assessment
- Noise Impact Assessment
- Tree Survey
- Transport Statement
- Operational Statement
- Supporting Statement – Justification for loss of existing nursing home

Reason for Referral to Committee

The application has been referred to the Planning Development Management Committee because more than five (sixteen) representations either objecting to, or raising concerns about, the proposed development have been received from third parties.

CONSULTATIONS

ACC - Developer Obligations – In order to mitigate the impact of the proposed development on existing local infrastructure and facilities, the following financial contributions will be required:

- Core Path Network - £9,374 (Core Path 85 – Tullos Park & Inverdee Pitches)
- Healthcare Facilities – £21,865.54 (Torry Medical Practice)

The application site is within the catchment areas for Kirkhill Primary School and Lochside Academy. Lochside Academy has sufficient capacity to accommodate additional pupils and although Kirkhill Primary School is expected to exceed its working capacity in the near future, on the basis that the proposed development would comprise 100% 1-bed units, no new pupils are expected to be generated.

As a landscaped sensory garden and communal external amenity space would be provided in the development, no off-site open space mitigation or contribution is required. No contributions are required towards Community Facilities or Sports & Recreation.

The proposed development would comprise 100% affordable housing (social housing operated by a Registered Social Landlord). The proposal has been discussed with the Council's Housing Team and is in the Strategic Housing Investment Plan (SHIP).

ACC - Schools Estates Team – The site falls within the school catchment areas for Kirkhill School and Lochside Academy. Whilst there is likely to be sufficient capacity at Lochside Academy to accommodate the number of pupils expected to be generated by the proposed development, pupil numbers at Kirkhill School are expected to exceed the school's capacity in the near future, and so a contribution from the developer may be required to assist with the cost of providing additional capacity at the school to accommodate pupils from the development.

ACC - Environmental Health – No objection, subject to the implementation of the mitigation measures recommended in the applicant's Noise Impact Assessment (Reference: 1029212314 – V1, Date: 8 June 2022) including:

- External wall construction to meet required acoustic performance;
- Roof construction to meet required acoustic performance;
- Installation of trickle vents to meet the stipulated acoustic performance;
- Application of kitchen extract grilles serving open-plan kitchen/dining or kitchen/living areas to meet the stipulated acoustic performance;
- Installation of a 2.2m high close-boarded fence positioned hard against the ground and free from any gaps, located at the top of the eastern site boundary embankment adjacent to the sports centre.

ACC - Structures, Flooding and Coastal Engineering – No objection. The findings of the applicant's Drainage Impact Assessment, Flood Risk Assessment and watercourse cross sections are accepted.

ACC – Housing Strategy – This development is to be 100% affordable housing. It will be owned by Hillcrest Homes and is included in the Strategic Housing Investment Plan and prioritised for funding through the affordable housing supply program.

It will provide specialist provision accommodation including wheelchair accessible homes. The Strategic Housing Investment Plan has a requirement that a minimum of 15% of all affordable housing should be provided as wheelchair accessible. Wheelchair accessible homes means homes suitable for wheelchair users to live in and should as a minimum comply with the design criteria indicated as a 'basic' requirement for wheelchair users, as outlined in Housing for Varying Needs and should include the design criteria indicated as 'desirable' (column 'D' in 'Summary of Design Criteria') wherever possible. Therefore, a minimum of 4 affordable homes should meet this requirement.

Police Scotland – The application site is currently a low/medium crime area. The main types of

crime which have been reported over the last 12 months are drugs, theft, vandalism, shoplifting, road traffic and fraud. Due consideration should be given to crime reduction measures during the construction phase. It is recommended that the architect liaises with the Police Scotland Architectural Liaison Officer for the purposes of designing out crime and the applicant is encouraged to attain a 'Secured by Design' award.

ACC - Roads Development Management Team – No objection, subject to conditions including the provision of the indicatively proposed pedestrian access bridge to the neighbouring residential development, which would allow use of the existing pedestrian facilities to access the public road and address existing issues of poor pedestrian connectivity to the site. The Roads Development Management team also advise the following:

Sustainable and active travel

There are existing pedestrian facilities (footpaths and crossings) which allow access to a variety of amenities in the surrounding area, including shops, a pharmacy and public transport stops;

Cycling around and into the site would be on the existing road carriageway. The applicant has provided a cycling isochrone map which shows that the city centre can be accessed within a 10 minute cycle from the site;

The site is generally well served by public transport;

One secure and covered cycle parking space is proposed per unit, with an additional two spaces for visitors. This exceeds the Council's guidelines and is acceptable.

Car Parking

The site lies in an Outer City area and is not in a controlled parking zone;

The applicant notes that there are 60 single bedrooms in the existing building, thus a capacity of 60 nursing home residents is assumed. An online news article noted 55 staff members at the nursing home in 2019 – therefore there is a shortfall in car parking for the current authorised use, with only 20 spaces on the site at present;

19 car parking spaces are required for the 24 affordable flats proposed (0.8 spaces per unit). 24 spaces would be provided, including 2 disabled bays, which is a slight overprovision as per the Council's guidelines;

On balance the number of car parking spaces proposed can be accepted and it has been confirmed that they would meet the minimum dimensions;

One passive EV space is proposed per unit but more active EV charge points will be required in order to meet recent changes to Building Standards requirements. Should EV charge points be required the position of these should be agreed with the RDM team;

Vehicular access and trip numbers

Vehicular access to the site is via the existing unadopted road shared with the sports centre and football club. As this is an existing situation which cannot be enhanced, there would be no net detriment and the vehicular access is acceptable;

A comparison of the proposed use with the existing authorised Class 8 (nursing home) use shows that the proposed development would have a very similar amount of vehicle trips to and from the site at peak times as the authorised use;

Residential Travel Pack

A Residential Travel Pack should be agreed with the Council and issued to the occupants

of the flats upon entry;

Waste Management

A swept path analysis drawing has been submitted which demonstrates that bins could be adequately and safely collected within the site by refuse vehicles.

Drainage

Where there is new hard standing (car parking) the proposal is for this to drain via sheet flow to new porous paving. Water will then filter through the subbase, where it will be attenuated and treated before being conveyed to the outfall pipes discharging into the existing surface water drainage system. The applicant has shown this mitigation measure outweighs the pollution indices. This is acceptable.

Scottish Water – No objection, however the applicant should be aware that this does not confirm the proposed development can currently be serviced. Scottish Water is unable to confirm capacity currently in the Invercarnie Water Treatment Works therefore the developer should submit a Pre-Development Enquiry to Scottish Water. There is currently sufficient capacity in the Nigg Waste Water Treatment Works to service the development.

ACC - Waste And Recycling – No objection. The proposed development would be provided with:

- 2 x 1280l general waste bins (128cm x 145cm x 100cm)
- 2 x 1280l co-mingled recycling bins (128cm x 145cm x 100cm)
- 1 x food waste container for each bin store
- 24 x kitchen caddies and caddy liners (one for each property)

The aforementioned bins shall be purchased by the developer and made available for residents upon occupation.

Torry Community Council – No response received.

REPRESENTATIONS

A total of sixteen representations have been received, all objecting to the application. Four representations were received following renotification, three of which were additional comments from parties who had already objected. The matters raised in the representations received are summarised as follows:

Improper development of land zoned for business and industry

The proposed development is contrary to Policy B1 (Business and Industrial Land) of the Aberdeen Local Development Plan (ALDP) as residential use would be out of character with the area and conflict with the adjacent Banks o' Dee sports facility.

Impact on the operations and viability of on neighbouring uses

The application site lies within an employment area and the proposed residential development would be noise-sensitive, thus increasing the potential for complaints related to noise emissions from the adjacent sports facility (which operates gym classes and other activities, including football matches, from 5:30am to 11pm, 7 days a week) to harm its operations and viability, contrary to Policy CF1 (Existing Community Sites and Facilities) of the ALDP.

Impact on amenity of future residents

Noise emissions from the adjacent sports facility would harm the amenity of residents in the proposed development, contrary to Policies 23(e) (Health and Safety) of NPF4 and WB3 (Noise) of the ALDP.

Traffic generation, road and pedestrian safety

The access road to the site from Abbotswell Road is already at capacity and would be insufficient as a pedestrian connection to a residential development, particularly given its narrow width and already heavy use by the adjacent sports facility. The proposed development would thus increase traffic above the capacity of the access road and result in road and pedestrian safety issues

Car parking

There is insufficient car parking proposed, which would lead to overspill car parking by residents in the adjacent sports facility's car park, to the detriment of their operations

Impact on character of the area

The proposed development would adversely affect the character of the area and would not meet the six qualities of successful places – contrary to Policy 14 (Design Quality and Place) of NPF4 and Policy D1 (Quality Placemaking) of the ALDP.

Loss of existing nursing home facility

There is a shortage of care / nursing homes and similar facilities in Aberdeen, therefore the change of use should not be granted and no supporting evidence has been provided to justify the loss of the existing facility, contrary to Policy WB4 (Specialist Care Facilities) of the ALDP.

Security, health and safety

The proposed development would cause security issues and would have a negative impact on the wellbeing of young people and children using the adjacent sports facility.

Noise Impact Assessment limitations

The applicant's Noise Impact Assessment does not include football (Banks o' Dee) matchdays and with the club having in excess of 7 teams in the Scottish Highland League, noise from the stadium will adversely affect residents.

Impact on trees

Several trees would be felled in order to accommodate car parking – contrary to net-zero ambitions. The existing trees should be retained.

Wheelchair access

There is nothing on the plans about wheelchair accessible homes and the current access road is unsuitable for wheelchair access.

Lack of consultation with neighbours

The lack of consultation with neighbours in the pre-application and planning process is rude and disrespectful.

Maintenance of the communal access road

The communal access road has been maintained and improved at the expense of the sports facility and the owner of the former nursing home has not contributed in any way, nor

entered into any dialogue in relation to the maintenance of the road.

Impact on fundraising for the adjacent sports facility

The redevelopment of the application site for residential use would result in donors and sponsors of the adjacent sports facility withdrawing their financial support which is heavily relied upon for the maintenance and enhancement of the facility.

Burden on permitted use

There is a burden on the use of the property as a nursing home which should be honoured by the Council.

Fire risk of external cladding

The cladding to be applied to the renovated building would pose a fire risk.

Pedestrian bridge link to neighbouring residential site

The proposed pedestrian bridge link would exacerbate existing parking issues (with residents parking at the sports centre) and increase anti-social behaviour, with the Police already attending the neighbouring flatted development on a regular basis. Despite the bridge, the reality is that many people will continue to access the proposed development site by car and traffic congestion will be made worse overall.

Pedestrian bridge – procedure

The proposed pedestrian access bridge would require a separate planning application and it would be premature to approve the current application on the basis of a bridge link which may or may not obtain consent. As such, no weight should be attached to the proposed pedestrian access as a solution to the issues highlighted by the Roads Development Management team.

Pedestrian bridge – Land ownership

The Banks o' Dee Football Club claim to own the land between the proposed development site and the burn over which the applicant proposes to construct a bridge and it is their intention to use that land for parking and a turning facility for buses. The bridge would require development on land the applicant does not own and which is not under its control. Should the Council be minded to approve the application, a negative suspensive condition should be attached requiring the applicant to acquire the necessary property rights over the land in question before commencing development.

MATERIAL CONSIDERATIONS

Legislative Requirements

Sections 25 and 37(2) of the Town and Country Planning (Scotland) Act 1997 require that where making any determination under the planning acts, regard is to be had to the provisions of the Development Plan; and, that any determination shall be made in accordance with the plan, so far as material to the application, unless material considerations indicate otherwise.

Development Plan

National Planning Framework 4 (NPF4)

National Planning Framework 4 (NPF4) is the long-term spatial strategy for Scotland and contains

a comprehensive set of national planning policies that form part of the statutory development plan. The relevant provisions of NPF4 that require consideration in terms of this application are –

- Policy 1 (Tackling the Climate and Nature Crises)
- Policy 2 (Climate Mitigation and Adaptation)
- Policy 3 (Biodiversity)
- Policy 4 (Natural Places)
- Policy 6 (Forestry, Woodland and Trees)
- Policy 9 (Brownfield, Vacant and Derelict Land and Empty Buildings)
- Policy 12 (Zero Waste)
- Policy 13 (Sustainable Transport)
- Policy 14 (Design, Quality and Place)
- Policy 15 (Local Living and 20 Minute Neighbourhoods)
- Policy 16 (Quality Homes)
- Policy 18 (Infrastructure First)
- Policy 19 (Heat and Cooling)
- Policy 22 (Flood Risk and Water Management)
- Policy 23 (Health and Safety)

Aberdeen Local Development Plan 2023 (ALDP)

The following policies are relevant –

- Policy B1 (Business and Industrial Land)
- Policy CF1 (Existing Community Sites and Facilities)
- Policy CI1 (Digital Infrastructure)
- Policy D1 (Quality Placemaking)
- Policy D2 (Amenity)
- Policy D5 (Landscape Design)
- Policy H3 (Density)
- Policy H4 (Housing Mix and Need)
- Policy H5 (Affordable Housing)
- Policy I1 (Infrastructure Delivery and Planning Obligations)
- Policy NE2 (Green and Blue Infrastructure)
- Policy NE3 (Our Natural Heritage)
- Policy NE4 (Our Water Environment)
- Policy NE5 (Trees and Woodland)
- Policy R5 (Waste Management Requirements for New Developments)
- Policy R6 (Low and Zero Carbon Buildings and Water Efficiency)
- Policy R8 (Heat Networks)
- Policy T2 (Sustainable Transport)
- Policy T3 (Parking)
- Policy WB3 (Noise)
- Policy WB4 (Specialist Care Facilities)

Interim Aberdeen Planning Guidance

Aberdeen Planning Guidance is Interim Planning Guidance. The documents hold limited weight until they are adopted by the Council. The weight to be given to Interim Planning Guidance prior to its adoption is a matter for the decision maker. The following guidance is relevant –

Affordable Housing
Amenity
Open Space and Green Infrastructure
Space Standards
Transport and Accessibility
Trees and Woodland

Supplementary Guidance

Planning Obligations

EVALUATION

Principle of Development

Business and Industrial Land zoning

The application site lies within Business and Industrial Area, as zoned in the Aberdeen Local Development Plan 2023 (ALDP). Policy B1 (Business and Industrial Land) of the ALDP states:

'Land zoned for business and industrial uses on the Proposals Map, including already developed land, shall be retained for Class 4 (Business), Class 5 (General Industrial) and Class 6 (Storage and Distribution) uses and safeguarded from other conflicting development types. Other uses which may be suited to a business and industrial location, such as car showrooms and bus depots, shall be treated on their own merits. The expansion of existing uses within these locations will be permitted in principle.

Where business and industrial areas are located beside residential areas, we will restrict new planning permissions to Class 4 (Business). Buffer zones, which are appropriately sized and landscaped, may be required to separate these uses and safeguard residential amenity. Low amenity 'bad neighbour' uses must have regard to surrounding uses and their potential impact on the environment and existing amenity. In all cases, conditions may be imposed restricting levels of noise, hours of operation and external storage'

Although the site lies within a Business and Industrial Area and the building is currently vacant, its authorised use is as a nursing home (Class 8 – Residential Institutions). Therefore, the Policy B1 presumption in favour of the retention of Class 4, 5 and 6 uses is not applicable to this application. Furthermore, the immediately neighbouring property to the north-east, comprising Spain Park (home of Banks o' Dee Football Club) and the Banks o' Dee Sports Centre, comprises a mix of uses within Class 11 (Assembly and Leisure), including indoor and outdoor sports and recreation. As such, the neighbouring site is also not in Class 4, 5 or 6 use therefore the Policy B1 presumption against development of conflicting types that could harm the operations of such uses is also not applicable in this instance.

The nearest business and industrial uses (Classes 4, 5 or 6) comprise a cluster of business and industrial units situated at least 30m to the east of the site, between it and Abbotswell Road. These units face away from the application site however and due to their orientation relative to the application site, the separation distance and the segregated accesses from Abbotswell Road, it is considered that the amenity of the proposed new residential use of the application site would not be adversely affected by the operations of those uses, and in turn, those uses would be adequately safeguarded from the noise-sensitive nature of the proposed new residential use.

The Planning Service thus considers that although new residential development will often not be appropriate within a business and industrial land zoning, there is nothing within Policy B1 of the ALDP which explicitly precludes residential use, provided no existing business and industrial uses would either be lost or adversely affected. The specific context of the application site, its authorised Class 8 use and the Class 11 use of the neighbouring site are such that the proposed residential use of the application site is not contrary to Policy B1.

Whilst Class 11 uses (and other non-Class 4, 5 or 6 uses) are not specifically afforded protection by Policy B1, the safeguarding of the operations of the adjacent sports centre is nevertheless a material consideration that is assessed later in the evaluation.

Loss of an existing specialist care facility

Policy WB4 (Specialist Care Facilities) of the ALDP states:

'Proposals for new residential care facilities (such as Care Homes, Nursing Homes, Sheltered Living) should;

- 1. Be well-connected; located close to public transport links and community amenities for residents and staff, and provide visitor parking; and*
- 2. Meet design and amenity standards in line with other types of 'residential' developments.*

Proposals for the redevelopment, or Change of Use, of an existing development of this nature should be accompanied by sufficient supporting evidence justifying the loss of such a facility.'

As per the requirements of Policy WB4, the applicant has submitted a supporting statement to justify the loss of the existing nursing home. Although authorised for use as a nursing home (Class 8 – Residential Institutions), the property has lain vacant since 2019, therefore the proposal would not result in the loss of an operational specialist care facility, but rather a building authorised, in Planning terms, for continued / reinstated Class 8 use.

Furthermore, the applicant's statement notes that since the closure of the nursing home in 2019, no care operator has been willing to take over operation of the site and to resume a nursing / care home business. Upon the closure of the nursing home, all the tenants were re-homed in nearby care homes which has a significant number of spare rooms. The applicant advises that other nursing homes operating in the region remain under capacity, with data taken from the 'Care Home Census for Adults in Scotland' published in 2021 detailing the 56 care homes in Aberdeen City operating at 81% occupancy.

The Planning Service is satisfied that not only would an existing nursing home facility not be lost, with the building having lain vacant for over four years, but that there has been no interest from any parties in reinstating care/nursing home use in the meantime and that there is spare capacity in the existing care homes in Aberdeen City, therefore the 'loss' of the existing facility has been adequately justified and the proposals are not contrary to the intentions of Policy WB4.

Policy CF1 (Existing Community Sites and Facilities) of the ALDP states:

This policy applies to both land zoned as CF1 and to health, education and other community facilities located within other Local Development Plan zonings. The following existing uses shall be used primarily for that use and/ or related purposes;

Healthcare sites;

*Nursery, primary, secondary and special school land and properties;
Further education and research institute sites;
Community buildings such as libraries, community halls, and recreational centres*

Where land or buildings become surplus to current or anticipated future requirements, alternative uses which are compatible with adjoining uses and any remaining community uses, will be permitted in principle.

Specialist care facilities are not specifically defined as comprising 'Existing Community Sites and Facilities' either within Policy CF1 or in the supporting text within the ALDP. As such, it is considered that the redevelopment of the vacant nursing home building would not be contrary to Policy CF1.

Housing on land not allocated for housing in the LDP

Policy 16 (Quality Homes) of NPF4 states:

f) Development proposals for new homes on land not allocated for housing in the LDP will only be supported in limited circumstances where:

- i. the proposal is supported by an agreed timescale for build-out; and*
- ii. the proposal is otherwise consistent with the plan spatial strategy and other relevant policies including local living and 20 minute neighbourhoods;*
- iii. and either: -
delivery of sites is happening earlier than identified in the deliverable housing land pipeline. This will be determined by reference to two consecutive years of the Housing Land Audit evidencing substantial delivery earlier than pipeline timescales and that general trend being sustained; or
the proposal is consistent with policy on rural homes; or
the proposal is for smaller scale opportunities within an existing settlement boundary;
or
the proposal is for the delivery of less than 50 affordable homes as part of a local authority supported affordable housing plan.*

In relation to criterion (i), the applicant has advised that, should planning permission be granted, the intention is to commence development as soon as possible.

In relation to criterion (ii), as noted above the proposed development is not contrary to Policy B1 of the ALDP due to the site-specific context. The site lies in a relatively accessible location, within 20 minutes' walking distance of amenities including Kincorth Community Centre and nearby shops (including food retailers Tesco and Lidl on Wellington Road) and further local amenities in the Torry area. The site also lies within 400m of the nearest bus stop on Wellington Road which is served by regular bus services to the city centre. As such, whilst not comprising a site specifically allocated for housing in the ALDP, the application site is considered to be otherwise consistent with the plan spatial strategy and other relevant policies including local living and 20 minute neighbourhoods.

In relation to criterion (iii) of Policy 16, the proposal is both for a small-scale opportunity within an existing settlement boundary and would also deliver less than 50 affordable homes, included within the Aberdeen Strategic Housing Investment Plan (SHIP).

The proposed development is therefore considered to be compliant with the requirements of Policy

16 of NPF4.

Re-use of brownfield land and empty buildings

Policy 9 (Brownfield, Vacant and Derelict Land and Empty Buildings) of NPF4 states:

'a) Development proposals that will result in the sustainable reuse of brownfield land including vacant and derelict land and buildings, whether permanent or temporary, will be supported. In determining whether the reuse is sustainable, the biodiversity value of brownfield land which has naturalised should be taken into account.' and

d) Development proposals for the reuse of existing buildings will be supported, taking into account their suitability for conversion to other uses. Given the need to conserve embodied energy, demolition will be regarded as the least preferred option.

Policy 12 (Zero Waste) of NPF4 states that development proposals will be supported where they reuse existing buildings and infrastructure.

The proposed development would re-use an existing building which has lain vacant since 2019. Although the façades of the existing building would be stripped, with new external walls, windows and doors installed, the works would not involve a wholesale demolition and rebuild approach, nor would any extensions to the existing building be required, therefore the proposals are considered to be inherently sustainable and generally compliant with the aims of Policies 9 and 12 of NPF4.

Impact on existing community facilities

Although the vacant nursing home is not considered to comprise an existing community site or facility, as per the definitions set out within Policy CF1 it is considered that the adjacent sports centre comprises a recreational centre (albeit a privately owned one, rather than a public facility) that could be considered to be afforded some protection by Policy CF1, which states:

'Where land or buildings become surplus to current or anticipated future requirements, alternative uses which are compatible with adjoining uses and any remaining community uses, will be permitted in principle.'

It is therefore necessary to ensure that the proposed redevelopment of the vacant nursing home site would be compatible with (not adversely affect the operations of) the adjacent sports centre and football ground.

The Planning Service considers that the main aspect of the proposed development which could affect the viability of the neighbouring sports centre and football ground is the noise-sensitive nature of the proposed residential use. With the sports centre and football ground hosting noise generating uses, such noise emissions could lead to noise complaints from future residents of the proposed development that could, in-turn, affect the operations and viability of the sports centre and football club.

The potential impact of noise emissions from the sports centre and football club on the amenity of the residents of the proposed development is set out in the 'Amenity for residents' section of the evaluation below but to summarise, the applicant has submitted a Noise Impact Assessment which concludes that subject to the implementation of various mitigation measures, the noise emissions from the sports centre and football club would not adversely affect the amenity of the residents of the proposed development. Therefore, it is considered that noise complaints that could affect the operations and viability of those uses are not likely to arise.

The sports centre and football club have also raised concerns in relation to the impact that the proposed use would have on car parking, with the potential for increased usage of the sports centre & football club car park by residents or visitors not attending the sports centre or football ground. An assessment of the implications of the proposed development on car parking is made in the 'Transport and Accessibility' section of the evaluation below but to summarise, additional parking spaces are proposed within the application site and the new use would likely have less onerous parking requirements than the existing authorised use of the site as a 60-bed nursing home (with associated staff and visitors). As such, the impact of the proposed use on car parking demand, and the associated potential for indiscriminate overspill parking, is not considered to be an issue when taking into consideration the existing authorised use of the site and the relatively small-scale nature of the development proposal (24 flats). The amount of car parking to be provided is also in excess of the guideline amount for affordable flats as set out in the Council's Interim Transport & Accessibility Aberdeen Planning Guidance.

There are no other factors related to the proposed development which the Planning Service considers would harm the viability or operations of the neighbouring sports centre and football club, therefore the redevelopment of the vacant nursing home building for mainstream residential use would not be contrary to Policy CF1.

Amenity for residents

Space standards, daylight receipt, outlook and privacy

Policy D2 (Amenity) of the ALDP sets out various criteria which new residential development should meet, in order to ensure that its occupants would benefit from a satisfactory quality of residential amenity. These criteria include:

Residential developments will also:

- ensure that occupiers are afforded adequate levels of privacy;*
- ensure minimum standards for internal floor space and private external amenity space in terms of quantity and quality;*
- provide no less than 50% usable amenity space where it is necessary to provide car-parking within a private court. Underground and/or decked parking will be expected in higher density schemes;*
- ensure minimal shading of external private and public spaces;*
- ensure all residents have access to usable private/ semi-private open spaces and sitting-out areas provided by way of balconies, terraces, private or communal gardens;*
- have a private face to an enclosed garden or court to ensure a sense of safety and enclosure.*

In terms of privacy, all of the ground floor level flats would be dual aspect and privacy buffer planting strips would be placed in front of all 'front' elevation windows onto communally accessible areas, in order to maximise privacy for occupants, whilst all ground floor units would also have access to, and overlook, their own private garden areas to the rear. None of the flats would be overlooked from any neighbouring properties, including the adjacent sports centre, as a 2.2m high acoustic barrier timber fence to the eastern boundary would prevent any overlooking into windows and garden areas from the sports centre car park.

The Council's Interim Aberdeen Planning Guidance (APG) on Space Standards generally seeks a minimum internal floor area of 52sqm for a one-bedroom dwelling. However, the APG also notes

that reusing and converting existing building stock is encouraged, as a more sustainable approach than demolition and rebuild, and advises that the Council may need to take a flexible approach to space standards due to the often constrained nature of converting existing buildings. The ground floor flats would all meet the minimum space standard expected by the APG, with unit sizes ranging between 57sqm and 72sqm. On the first floor level however, the majority of the flats would be smaller than the guideline minimum, with most of the flats ranging between 45sqm and 49sqm in size. Albeit lower than the guideline minimum floor size of 52sqm, the first floor level flats would not be significantly smaller than the guideline minimum and their size is dictated, to an extent, by the existing floorplates and position of stairwells in the building. Given the sustainable re-use of the existing building, the relatively minor deficit in internal floor areas for the majority of the first floor level flats is considered to be acceptable.

Whilst the ground floor flats would all benefit from a dual aspect outlook, all of the flats at first floor level would have a single-aspect outlook. Whilst desirable for all residential units to be dual aspect, the single aspect layout at first floor level is largely dictated by the existing floorplates and the position of stairwells. The provision of access to multiple stairwells for all first floor flats for escape purposes, combined with the limited width of the building, necessitates a single-aspect layout, with a communal corridor running along one side of each of the three wings. Whilst single-aspect, the first floor level layout has been designed to maximise the amenity of the occupants, with flats only facing either south or west (not north), thus they would all receive direct sunlight at varying times of the day.

The outlook of all the flats would also be acceptable, with a mix of dual aspect flats at ground floor level, with their own private gardens, and single aspect flats at first floor level with elevated outlooks over the front and rear curtilages. In addition to the private garden areas for the ground floor flats, there would also be a communal garden area of a reasonable size within the sheltered rear curtilage which could be used by all residents for sitting out. All of the flats would either have their own private access door or they would be accessed via the communal main entrance, lobby and stairwell. Both the front and rear curtilages would be overlooked by windows of flats and communal hallways, thus ensuring an adequate sense of safety and enclosure.

It is therefore considered that, on balance, the occupants of the proposed flats would benefit from a satisfactory level of amenity and the proposals are thus considered to be acceptable and generally in accordance with the criteria set out in Policy D2 of the ALDP and the associated interim APG.

Open Space

Policy NE2 (Green and Blue Infrastructure) notes that biodiverse, useable and appropriate open space will be required in new developments, including on brownfield sites, although the potentially constrained nature of brownfield sites will be taken into consideration if it is not possible to meet the on-site open space standards set out in the Council's interim Aberdeen Planning Guidance on Open Space and Green Infrastructure. The Open Space and Green Infrastructure interim APG seeks a minimum of 2.8 hectares of open space per 1,000 people in new residential developments. With 24 one-bedroom flats proposed, the number of people estimated to be likely to live in the development would be 31 (24 x 1.3), thus equating to an open space requirement of 868sqm of open space. The useable area of open space to the rear of the building would be approximately 900sqm in size, with further unusable areas of tree and shrub planting also to be provided within the development. The proposed development would thus provide sufficient useable open space, in accordance with Policy NE2 of the ALDP and the associated interim APG. The site is also within walking distance of a large area of public open space in the nearby Tullos Park on Abbotswell Road, close to the River Dee.

Noise

Policy 23 (Health and Safety), paragraph (e) of NPF4 and Policy WB3 (Noise) of the ALDP both seek to ensure that noise sensitive developments, such as new housing, would be adequately protected from noise emissions generated by neighbouring noisy uses, with paragraph (e) of Policy 23 noting that the 'agent of change' principle applies to noise sensitive development. The adjacent sports centre and football club are operational for large parts of the day, seven days a week, (5.45am to 10pm, Monday to Thursday, with similar albeit slightly reduced hours Friday to Sunday - according to the sports centre's website) and the nature of the various uses of the facility (including gym classes with amplified music, indoor sports, outdoor football practice and competitive matches) is such that there is a level of noise emissions from the site that could be harmful to the amenity of the future occupants of the proposed residential development. A Noise Impact Assessment (NIA) was submitted and its findings demonstrate that, without mitigation, some of the properties in the new development (those with windows facing towards the sports centre) would suffer an adverse amenity impact as a result of noise emissions from the adjacent sports facility.

However, the NIA recommends that, subject to the implementation of various mitigation measures, including: the installation of a 2.2m high close-boarded timber acoustic fence along the mutual boundary between the application site and sports centre, and new external wall construction and window specifications in the proposed conversion to meet minimum sound reduction criteria, any noise emitted from the sports facility would be sufficiently reduced at the nearest new residential properties such that they would not be adversely affected to any significant degree. The Council's Environmental Health Service have reviewed, and accept, the findings of the applicant's NIA. A condition is attached requiring all of the noise mitigation measures to be implemented prior to the occupation of any units.

In addition to the aforementioned noise mitigation measures, the building's internal layout has also been designed to minimise any noise disturbance from the adjacent sports centre and football stadium, with no first floor flats proposed to have any outlook or windows on the building's eastern elevation, whilst the ground floor level flats with windows on the eastern elevation would be set on lower ground than the sports centre, and would thus be afforded a level of noise protection by the acoustic fencing to be installed along the raised mutual boundary. The site is bound to the northwest by the River Dee and to the south-west by a tree belt, with housing beyond, therefore no adverse noise emissions are expected from those directions. Whilst there are industrial units situated in relatively close proximity to the east of the site (c. 45m from building to building), the buildings face the opposite direction to the application site (south-east) and with no openings on the side or rear walls of the nearest industrial building, no significant noise emissions are anticipated from that direction.

The Planning Service is therefore satisfied that, subject to the implementation of the mitigation measures recommended in the NIA via condition, the proposed residential flats would all benefit from a satisfactory level of amenity in terms of protection from external sources of noise, in accordance with the requirements of Policies 23 of NPF4 and WB3 of the ALDP.

Summary

The Planning Service considers that, taking into consideration the benefits and constraints of re-using and converting the existing building, as opposed to a less sustainable demolition and rebuild approach, all of the proposed flats would benefit from a satisfactory quality of residential amenity, in accordance with the requirements of Policies D2, NE2 and WB3 of the ALDP, as well as Policy 23 of NPF4.

Design Quality and Placemaking

Policy 14 (Design, quality and place) of NPF4 requires development proposals to be designed to improve the quality of an area whether in urban or rural locations and regardless of scale. Policy 14 of NPF4 and Policy D1 (Quality Placemaking) of the ALDP require all new development to comply with the six qualities of successful places. The qualities of successful placemaking differ slightly between NPF4 and the ALDP, therefore as the ALDP was adopted more recently, it takes precedence in the event of any difference in policy between the two documents. The proposed development can therefore be assessed against each of the six qualities of successful placemaking as defined in Policy D1 of the ALDP as follows:

Distinctive

The proposed development would retain and re-use the existing building, with a modern wall cladding system to be applied to enhance the building's appearance. The absence of any new-build elements would ensure that the development would not have any adverse impacts on the streetscape or wider cityscape, including on key views along the River Dee. Most existing trees within the site would be retained and supplemented with new tree planting and soft landscaping, proportionate to the scale and nature of the development.

Welcoming

The building would incorporate new windows and doors, and it would have attractive and clearly defined entrances, thus giving the building an appropriate frontage and providing legible wayfinding throughout the site.

Safe and pleasant

The internal layout of the building has been designed to ensure that all public areas would be sufficiently overlooked, thus maximising natural surveillance and active frontages at ground floor level, and minimising opportunities for crime and anti-social behaviour. Private gardens would be provided for all ground floor flats and all residents would have access to a large and sheltered communal lawn area to the rear. The new boundary treatments would all be of a domestic scale and appearance, such that they would not detract from the character or visual amenity of the area.

Easy to move around

It is acknowledged in the following sections of the evaluation that the unadopted access road serving the site from Abbotswell Road does not meet current guidelines for pedestrian footway width and segregation from the road carriageway, nor is there a satisfactory means of safe pedestrian crossing over the road between the painted pedestrian walkway and the entrance to the application site. However, and subject to an acceptable scheme being granted permission separately and subsequently implemented, the Roads Development Management team considers that an indicatively proposed pedestrian bridge link between the site and the neighbouring residential development to the south-west, over the unnamed burn, would provide a satisfactory safe means of pedestrian access between the site and Abbotswell Road. The proposed development itself would be easy to move around, with external pedestrian footpaths and access to both private and communal garden areas.

Adaptable

The proposed development has been designed so that the ground floor units would all be wheelchair accessible, if required.

Resource efficient

The proposed development would convert and re-use an existing building and brownfield site to provide new affordable housing in a sustainable and accessible location, within walking, wheeling and cycling distance of public transport and various other amenities such as shops, open space and employment land.

To summarise, the proposed development would re-purpose an existing vacant building to provide affordable housing in a sustainable and accessible location. The existing building is not of any particular architectural merit and the refurbishment and recladding of the building would represent a visual enhancement to the localised streetscape, without harming any key views in the wider surrounding area. The development is considered to be generally compatible with the six qualities of successful placemaking, as set out in Policy D1 of the ALDP, and it would improve the quality of the area, in accordance with Policy 14 of NPF4.

20-minute neighbourhoods

Policy 15 (Local Living and 20 Minute Neighbourhoods) of NPF4 requires development proposals to contribute to local living including, where relevant to 20-minute neighbourhoods. Facilities and amenities outlined in Policy 15 as contributing towards successful 20-minute neighbourhoods include: public transport and safe walking, wheeling and cycling networks, employment, shopping, health facilities, schools, open space and affordable housing.

The application site lies within 400m of bus stops on Wellington Road which serve the city centre. Within 20 minutes' walking distance of the application site there are shops (including two food retailers: Tesco and Lidl), cafés, Torry Medical Practice and Tullos Park, amongst other facilities and amenities. It is thus considered that the proposed development would be sufficiently connected to, and within relatively easy reach of, various facilities and amenities, in accordance with the aims of Policy 15 of NPF4.

Transport & Accessibility

Policies 13 (Sustainable Transport) of NPF4 and T2 (Sustainable Transport) of the ALDP require developments to demonstrate that sufficient measures have been taken to minimise traffic generated and to maximise opportunities for sustainable and active travel. Policy T3 (Parking) states that low and zero car developments will be supported in suitable locations where there is adequate access to sustainable and active travel. Where this is not possible, development shall be required to comply with the parking standards set out in Aberdeen Planning Guidance: Transport and Accessibility.

Public transport, pedestrian safety and accessibility

The application site lies approximately 140m from Abbotswell Road and 275m walking distance from Wellington Road, where there are bus stops served by regular bus services to and from the city centre and the south of the city. The site is accessed from Abbotswell Road via an unadopted private road which also serves the adjacent sports centre and football ground. The road does not meet current guidelines for adopted road carriageway and pavement widths however, with the pedestrian walkway comprising a narrow strip painted along the north-eastern edge of the carriageway. Although the road is not particularly heavily trafficked, it does see a reasonable volume of traffic throughout the day due to the nature and opening hours of the sports centre and

Spain Park. As such and combined with the lack of an appropriate means of pedestrian crossing over the road at the entrance to the application site, the Council's Roads Development Management (RDM) team consider that the site would not be appropriately and safely accessible to and from Abbotswell Road on foot by future residents if only using the existing pedestrian access. Following the concerns raised by the RDM team, the applicant submitted indicative proposals to demonstrate how a new pedestrian bridge link could be installed over the burn adjacent to the entrance to the application site, linking it with the existing residential development (owned and operated by Hillcrest Homes) to the south. As the indicatively proposed bridge link and associated works to the car park area of the neighbouring development to the south fall outwith the current application site boundary, those works would require a separate planning permission. The RDM team are satisfied that, subject to further details of the indicative bridge link as part of a separate application and its subsequent installation if approved, the bridge would enable a satisfactory and safe means of pedestrian access (including for disabled users) to the application site from Abbotswell Road. The Planning Service is therefore satisfied that, subject to a 'Grampian' condition prohibiting the occupation of the proposed development until such time as an appropriate bridge link (or such other safe means of pedestrian access as may be deemed acceptable) has been formed, the development would be capable of being accessed safely by walking, wheeling and cycling. 100% secure and covered cycle parking would be provided within the building at ground floor level.

Therefore, as the site lies within walking distance of public transport and the wider adopted pedestrian footpath networks, it would be sufficiently accessible by sustainable and active modes of transport, in accordance with Policies 13 of NPF4 and T2 of the ALDP.

Car Parking

The application site lies in an Outer City Area, as defined in the Council's Transport & Accessibility Interim Aberdeen Planning Guidance (Interim Transport & Accessibility APG). Although the site lies within walking distance of public transport services and various facilities and amenities, it is acknowledged that residents of the proposed development may be likely to own cars and the provision of dedicated off-street parking is thus desirable. The Interim Transport & Accessibility APG incorporates a guideline figure of 0.8 car parking spaces per unit for housing association / social rented housing developments in the Outer City. The car parking requirement for the 24 housing association flats therefore equates to 20 spaces (rounded up from 19.2). The proposed development would incorporate 24 car parking spaces, including two disabled bays. As such there would be a slight overprovision as per the Interim APG guidance but the small amount of additional spaces is minimal and would facilitate one space per unit.

At present there are 20 car parking spaces within the application site and although the building has lain vacant for several years its authorised use is as a nursing home. The vacant nursing home is understood to incorporate approximately 60 bed spaces and shortly before it closed in 2019, the nursing home had 37 residents and 55 permanent staff. The Planning Service is therefore satisfied that not only does the site lie within walking distance of public transport services and various other facilities and amenities, but that the proposed development would incorporate sufficient car parking for the number of flats proposed, in excess of the guideline requirements of the Interim Transport & Accessibility APG, and also the amount of parking required for 24 affordable flats is likely to be less (potentially significantly so) than the authorised use of the building as a nursing home, which could be resumed / reinstated without permission. It is thus considered that sufficient car parking would be provided for the proposed development and that there would not likely be any significant impacts on parking supply for neighbouring uses, particularly the adjacent sports centre and football ground. The proposals are therefore compliant with Policy T3 (Parking) of the ALDP.

Planning Obligations

Policy 18 (Infrastructure First) of NPF4 and Policy I1 (Infrastructure Delivery and Planning Obligations) of the ALDP both require any deficiencies in local public facilities or infrastructure that would arise as a result of a proposed new development to be addressed via the payment of financial contributions, where necessary. The Council's Developer Obligations team has reviewed the proposals in line with the Council's Planning Obligations Interim Supplementary Guidance and in consultation with various stakeholders, and they advise that financial contributions are required in order to offset the impact of the proposed development on local healthcare facilities (Torry Medical Practice) and the core path network (Core Path 85: Tullos Park and Inverdee Pitches). The applicant is agreeable to paying the required contributions, which would be secured via a Section 75 legal agreement, should Committee resolve to approve the application.

In terms of Education, the application site is within the catchment areas for Kirkhill Primary School and Lochside Academy. Lochside Academy has sufficient capacity to accommodate additional pupils and although Kirkhill Primary School is expected to exceed its working capacity in the near future, on the basis that the proposed development would comprise 100% 1-bed units, no new pupils are expected to be generated, therefore no education contribution is sought.

As a landscaped garden and communal external amenity space would be provided in the development, no off-site open space mitigation or contribution is required and no contributions are required towards Community Facilities or Sports & Recreation.

Therefore, subject to the conclusion of a legal agreement to secure the aforementioned healthcare facilities and core path contributions, the proposed development is considered to be acceptable in accordance with the requirements of Policies 18 of NPF4 and I1 of the ALDP.

Affordable Housing

Policy 16 (Quality Homes) of NPF4 and Policy H5 (Affordable Housing) of the ALDP require 25% of all housing developments of 5 or more units to be provided as affordable housing. The proposed development would comprise 100% affordable housing (social housing operated by a Registered Social Landlord - Hillcrest). The proposal has been discussed with the Council's Housing Team and is in the Strategic Housing Investment Plan (SHIP), therefore the proposed development would significantly exceed the minimum 25% affordable housing requirement as set out in Policies 16 and H5. Due to the housing mix of the development being entirely 1-bed flats, and thus not fully in accordance with the requirements of Policy H3 (Housing Mix) of the ALDP (see below), all of the units shall be secured as affordable housing in perpetuity, via the Section 75 legal agreement.

Density

Policy H3 (Density) of the ALDP states that: *'The Council will seek an appropriate net density of development on all housing allocations and windfall sites. Net dwelling density includes those areas which will be developed for housing and directly associated uses, including access roads within the site, garden ground and incidental open space.'*

Policy H3 doesn't specify a minimum density for residential developments on sites under one hectare in size, but notes that sites over one hectare in size should have a minimum density of 50 dwellings per hectare, with higher densities expected within the city centre, on public transport nodes and on brownfield sites.

The site is approximately 5,000sqm in size and with 24 flats proposed, that equates to a density of

approximately 48 dwellings per hectare. Such a density is considered to be compatible with the Policy H3 minimum density sought for larger sites and would represent the efficient and sustainable re-use of the existing building on an accessible brownfield site. Given the development would comprise 100% 1-bed flats, it would not be possible to increase the density further without new-build elements. The proposals are thus considered to be of a satisfactory density considering the context of the site and the surrounding area, in accordance with Policy H3.

Housing Mix

Policy 16 (Quality Homes) of NPF states:

c) Development proposals for new homes that improve affordability and choice by being adaptable to changing and diverse needs, and which address identified gaps in provision, will be supported. This could include:

- i. self-provided homes;*
- ii. accessible, adaptable and wheelchair accessible homes;*
- iii. build to rent;*
- iv. affordable homes;*
- v. a range of size of homes such as those for larger families;*
- vi. homes for older people, including supported accommodation, care homes and sheltered housing;*
- vii. homes for people undertaking further and higher education; and*
- viii. homes for other specialist groups such as service personnel.*

Policy H4 (Housing Mix and Need) states:

‘An appropriate housing mix is expected in housing developments to reflect the diverse housing need in the area; this includes older people and disabled people. Where possible, housing units should demonstrate a design with accessibility and future adaptability in mind.

For smaller developments (fewer than 50 units), a suitable mix of dwelling types and tenure will be provided in the interests of placemaking and local housing need and demand.’

Although the flats would all be 1-bed units, they would include a large number (50%) of wheelchair accessible units and the proposed development would comprise 100% affordable flats, to be operated by Registered Social Landlord, Hillcrest. The Council’s Housing Strategy team have advised that the proposed development is included within the Council’s Strategic Housing Investment Plan (SHIP) and that there is demand for 1-bed flats in the city, with two and three-bed flats in low demand for social rent. Therefore, based on the current need for 1-bed social-rented flats in the city, the lack of a mix of dwelling types and tenure for the proposed development is considered to be acceptable in the instance, in accordance with Policy 16 of NPF4 and despite some minor conflict with the aims of Policy H4 of the ALDP.

Natural Heritage

Policy 4 (Natural Places) of NPF4 and Policy NE3 (Our Natural Heritage) of the ALDP both require new developments which would be likely to have a significant effect on an existing European site (Special Area of Conservation - SAC) to be subject to an “appropriate assessment” in order to identify the implications of the development for the conservation objectives of the SAC.

The River Dee is a European Special Area of Conservation (River Dee SAC) and it flows west to east adjacent to the north-western boundary of the application site, with a small unnamed burn, a

tributary to the Dee, running along the southern and western edges of the site. As such, a Habitat Regulations Appraisal screening exercise was undertaken in order to ascertain the potential impacts of the proposed development on the qualifying features of the River Dee (salmon, otter and freshwater pearl mussel). The HRA screening identified that as the application site is a brownfield site and the proposed development would comprise the refurbishment and conversion of the existing building, with no new-build elements, it would not be likely to have any significant effects on the qualifying features of the River Dee SAC. As such, no Appropriate Assessment was required. Any potential impacts of the indicatively proposed pedestrian bridge link would be assessed separately as part of any future planning application for the bridge.

Therefore, given the brownfield nature of the site, no protected species are considered likely to be present on the application site and the proposals are therefore compliant with Policies 4 and NE3.

Trees

Policy 6 (Forestry, Woodland and Trees) of NPF4 states that development proposals will not be supported where they will result in:

- i) *any loss of ancient woodlands, ancient or veteran trees, or adverse impact on their ecological condition; and*
- ii) *adverse impacts on native woodlands, hedgerows and individual trees of high biodiversity value, or identified for protection in the Forestry and Woodland Strategy.*

Policy NE5 (Trees and Woodland) of the ALDP states that: *'development should not result in the loss of, or damage to, trees and woodlands... Where tree removal takes place or is necessary for good arboricultural reasons, replacement planting will be required to ensure an overall net gain in tree cover. Development that does not achieve this will not be supported.'*

The site is not covered by a Tree Protection Order but nevertheless, it is preferable to retain as many existing trees within and bordering the site as possible, as per the aims of Policies 6 and NE5. A total of 10 trees are proposed to be felled. However, all of the trees are noted in the applicant's Tree Survey as being semi-mature, with two category 'B' trees (moderate quality and value), four category 'C' trees (low quality and value) and four category 'U' trees (any existing value would be lost within 10 years, therefore could be removed for arboricultural management reasons).

The removal of the existing trees is required either in order to facilitate the development (by removing blockages to internal daylight receipt and facilitating the enlargement of the existing carpark), or because some of the existing trees are of a low quality and value. As part of the development it is proposed to plant ten new replacement trees (two Cherry, three Whitebeam, four Crab Apple and one Holly Oak) in the rear curtilage, adjacent to the unnamed burn that runs along the western edge of the site. The requirement to remove the existing trees is justified and considered to be acceptable on the basis of the proposed indicative replacement planting scheme, further details of which can be secured by condition. Therefore the Planning Service is satisfied that, subject to the submission of a detailed soft landscaping scheme, including the planting of additional trees within the site, the proposals would be acceptable in accordance with Policies 6 and NE5.

The area of proposed expansion of the existing car park to the front of the building would result in new development taking place within portions of the root protection areas of some trees along the southern edge of the site, adjacent to the unnamed burn. This tree belt forms an important localised landscape feature which helps to visually soften and break-up the streetscape of the surrounding area which is otherwise relatively built-up and hard-landscaped. The applicant has

provided details of a 'no-dig' construction method for the partial excavation of the existing area of topsoil that would be required in order to facilitate the expansion of the car park. Further, precise details of the construction works are required by condition, in order to ensure that there would not be any significant adverse impacts to the roots of the adjacent trees which could harm their longevity, either in terms of direct damage or compaction. The use of a geo-grid system with porous pavements should enable the car park area to be enlarged without causing significant harm to the existing trees. Therefore, subject to approval of further details secured via condition, the proposals are acceptable in accordance with Policies 6 and NE5.

Landscaping

Policy D5 (Landscape Design) of the ALDP requires development proposals to be designed with an effective, functional and attractive landscape framework supported by clear design objectives, with the level of detail appropriate to the scale of development.

The vast majority of the existing established tree belt that runs along the southern and west edges of the site would be retained and whilst some existing trees would require to be felled, they are not generally of any significant quality or value. The proposed development would also incorporate new shrub and meadow-mix flower planting to both the front of the building and within privacy buffer shrub margins in front of ground-floor level front-elevation windows. Given the relatively constrained, brownfield nature of the site, and the need for useable areas of communal open space, it is not possible to incorporate a significant amount of new landscaping but nevertheless, the Planning Service is satisfied that, subject to further details in a detailed soft landscaping scheme via condition, the development could be appropriately landscaped, in accordance with the requirements of Policy D5 of the ALDP.

Tackling the Climate and Nature Crises, Climate mitigation and Biodiversity

Policy 1 (Tackling the Climate and Nature Crises) of National Planning Framework 4 (NPF4) requires significant weight to be given to the global climate and nature crises in the consideration of all development proposals. Policy 2 (Climate mitigation and adaptation) requires development proposals to be designed and sited to minimise lifecycle greenhouse gas emissions as far as possible, and to adapt to current and future risks from climate change.

The proposed development is relatively small-scale such that it would not, in itself, make any significant direct difference to the global climate and nature crises, nor to climate mitigation and adaptation. However, the proposed development would repurpose an existing building in an accessible location within the existing Aberdeen settlement boundary for a reasonable number of affordable residential flats, which would make a contribution towards addressing housing need in the city and reducing future pressure on the release of further greenfield land elsewhere within the city for housing in less sustainable locations. Furthermore, the existing building's walls and roof would be upgraded to meet current building regulations in terms of energy efficiency and it is therefore considered that the development would be inherently sustainable and could indirectly help to tackle the climate crisis and present opportunities to minimise greenhouse gas emissions and the proposals are therefore compliant with Policies 1 and 2 of NPF4.

Policy 3 (Biodiversity) of NPF4 requires proposals for local development *'to include appropriate measures to conserve, restore and enhance biodiversity, in accordance with national and local guidance. Measures should be proportionate to the nature and scale of development.'* The proposed works predominantly relate to the conversion of the existing building but as part of the proposals, new private garden ground areas would be formed, along with a communal garden area within the rear curtilage. Although some trees would be felled to facilitate the development, they would be replaced with new trees in the rear curtilage, along with associated hedge and

shrub planting. The proposals would thus likely provide a minor biodiversity gain for the site compared to the existing situation and it is therefore considered that the proposals are acceptable in accordance with Policy 3 of NPF4.

Flooding and drainage

Policy 22 (Flood Risk and Water Management) of NPF4 and Policy NE4 (Our Water Environment) of the ALDP both require new development to not be at risk of flooding and be adequately drained, thereby not increasing the risk of flooding to any neighbouring properties. The policies also require new developments to connect to the public sewer for foul drainage and for surface water to be drained sustainably on-site, without connecting into the public combined sewer network.

The applicant has submitted a Drainage Impact Assessment document which advises that the proposed development would be drained as at present, with additional car parking areas to be surfaced with porous pavements that would allow an attenuated discharge rate of surface water into the existing surface water sewer. The existing building drainage would remain in place, therefore the development would be adequately drained and would not pose a flood risk to any neighbouring properties. Scottish Water have confirmed to the applicant that there is sufficient capacity in both the Invercarnie Water Treatment Works and the Nigg Waste Water Treatment Works to service the proposed development.

Although bordering the River Dee, the application site sits on higher ground and is not at risk of flooding from the Dee. The small, unnamed burn which runs along the southern and western edges of the site is occasionally prone to some flooding but as with the Dee, the application site lies on higher ground and is not affected by any flooding of the burn. The applicant has submitted a Flood Risk Assessment which concludes that the application site is not at risk of flooding, nor would the proposed development heighten the risk of flooding to either the application site or any neighbouring properties. The findings of the applicants Drainage Impact and Flood Risk Assessments are accepted by the Council's Flooding team.

Subject to a condition requiring further details of the proposed underground drainage network to attenuate and dispose of surface water falling on new areas of hardstanding within the site, it is considered that the proposed development would not be at risk of flooding and would be adequately drained, ensuring no increased risk of flooding to any neighbouring uses – all in accordance with Policy 22 of NPF4 and NE4 of the ALDP.

Waste Management

Policies 12 (Zero Waste) of NPF4 and R5 (Waste Management Requirements for New Development) of the ALDP require all new developments to have sufficient space for the storage of general waste, recyclable materials and compostable wastes where appropriate.

The Council's Waste Strategy team have advised that the development would require to accommodate 2 x general waste bins, 2 x general waste bins (all 1280l) and one food waste container. A bin store large enough to accommodate the aforementioned bins is proposed to be erected towards the front of the site and a swept path analysis drawing demonstrates that a bin lorry would be able to enter and exit the site in a forward gear. As such, the proposals are compliant with Policies 12 and R5.

Low & Zero Carbon buildings, and water efficiency

Policy 19 (Heat and Cooling) of NPF4 states:

- (f) *Development proposals for buildings that will be occupied by people will be supported where they are designed to promote sustainable temperature management, for example by prioritising natural or passive solutions such as siting, orientation, and materials.*

The proposed development would see dual aspect flats created on the ground floor, all of which would have appropriate sustainable temperature management by virtue of their orientation and ability to naturally cross ventilate. The first-floor level flats, whilst single aspect, would all face either to the south-east or south-west and as such, they would all receive direct sunlight at some point during the day. Due to their orientation, they would benefit from passive solar gain, which would help to reduce heating demand and associated lifecycle greenhouse gas emissions. The proposals are thus considered to be compliant with the requirements of Policy 19 of NPF4.

Policy R6 (Low and Zero Carbon Buildings and Water Efficiency) of the ALDP requires new buildings to demonstrate that a proportion of the carbon emissions reduction target set by Scottish Building Standards is met through the installation and operation of low and zero carbon generating technologies and to reduce pressure on water abstraction from the River Dee through the incorporation of water saving technologies. The low & zero carbon and water efficiency technologies are not applicable to changes of use or the conversion of existing buildings however, thus the proposed development is acceptable, in accordance with Policy R6.

Policy R8 (Heat Networks) of the ALDP requires developments (including conversions exceeding 1,000sqm floorspace) within the city centre and/or within an identified heat network zone to connect to an existing heat network provide an alternative form of on-site sustainable heating or cooling. Although the building exceeds 1,000sqm in floor area, the site does not lie within the city centre and at the time of writing no Aberdeen Planning Guidance has yet been produced in relation to Heat Networks, therefore Policy R8 is not applicable to the proposed development.

Digital Infrastructure

Policy CI1 (Digital Infrastructure) of the ALDP requires all new residential and commercial development to have access to modern, up-to-date high-speed communications infrastructure. The application site lies in an area of the city where high-speed broadband is known to be readily available. A condition is attached requiring all of the flats to have the ability to access to high-speed internet upon occupation, thus the proposals are acceptable in accordance with Policy CI1.

Suicide Risk

Policy 23 (Health and Safety), paragraph (f) of NPF4 requires development proposals to be designed to take into account suicide risk. The proposed development would not incorporate any particular features that would increase the risk of suicide, being a low-rise residential development with appropriate associated landscaping and boundary treatments. The proposals are thus considered to be generally acceptable and in accordance with Policy 23(f) of NPF4.

Healthy Developments

Policy 23 of NPF4 states that development proposals that will have positive effects on health will be supported, whilst Policy WB1 (Healthy Developments) of the ALDP states that: *'Developments are required to provide healthy environments, reduce environmental stresses, facilitate physical activity and promote physical and mental wellbeing.'*

The proposed development would create 100% affordable housing, the ground floor flats of which would each have access to their own private garden areas, whilst all flats would also have access to the large, sheltered communal garden area to the rear of the building. The development would

have an outlook onto an established tree belt to the south and west, and over the River Dee to the north-west, and the natural setting of the expansive Tullos Park would be short distance away by foot. The Banks o' Dee sports facility adjacent to the site could also be easily utilised and accessed by occupants of the proposed flats for physical activity and sports participation, should they wish. The proposals are thus considered to be generally compliant with the requirements of Policy 23 of NPF4 and Policy WB1 of the ALDP.

Matters raised in representations

The majority of the matters raised in representations received from third parties are addressed in the foregoing evaluation. The remaining matters not addressed above, are each addressed, in turn, as follows:

Improper development of land zoned for business and industry

The proposed development is contrary to Policy B1 (Business and Industrial Land) of the Aberdeen Local Development Plan (ALDP) as residential use would be out of character with the area and conflict with the adjacent Banks o' Dee sports facility.

Response: As noted above, the proposed development is not contrary to the requirements of Policy B1 of the ALDP, which does not specifically exclude residential development, nor any other form of development, provided existing Class 4, 5 and 6 uses would neither be lost or adversely affected by proposed development. The adjacent Banks o' Dee sports facility does not incorporate any Class 4, 5 or 6 uses, therefore Policy B1 is not applicable in terms of the impact of the proposed development on its operations.

Traffic generation, road and pedestrian safety

The access road to the site from Abbotswell Road is already at capacity and would be insufficient as a pedestrian connection to a residential development, particularly given its narrow width and already heavy use by the adjacent sports facility. The proposed development would thus increase traffic above the capacity of the access road and result in road and pedestrian safety issues

Response: Subject to the granting of a separate permission for the indicatively proposed pedestrian bridge link, residents would be able to use the bridge link to the neighbouring residential development, which would then provide a safe pedestrian route to Abbotswell Road and the surrounding adopted footpath network. The amount of vehicle trips generated by the proposed development is considered likely to be broadly similar to that of the authorised nursing home use for the site, therefore it is considered that there would not likely be any significant impacts on traffic and road safety.

Impact on character of the area

The proposed development would adversely affect the character of the area and would not meet the six qualities of successful places – contrary to Policy 14 (Design Quality and Place) of NPF4 and Policy D1 (Quality Placemaking) of the ALDP.

Response: The character of the surrounding area is mixed, with a mix of uses, building sizes and designs. The proposed works would enhance the localised visual amenity of the area and the proposed new use would not affect the character of the area. The proposals are considered to be compliant with the six qualities of successful places for the reasons set out in the foregoing evaluation.

Security, health and safety

The proposed development would cause security issues and would have a negative impact on the wellbeing of young people and children using the adjacent sports facility.

Response: The Planning Service does not consider that the proposed development would cause security issues or have a negative impact on the wellbeing of any persons, including children. The proposed development would reoccupy a long-term vacant building that is currently boarded up and has the potential to attract anti-social behaviour in its current form. The conversion of the building for residential use would reintroduce natural surveillance which would be a deterrent to anti-social behaviour.

Noise Impact Assessment limitations

The applicant's Noise Impact Assessment does not include football (Banks o' Dee) matchdays and with the club having in excess of 7 teams in the Scottish Highland League, noise from the stadium will adversely affect residents.

Response: The applicant's Noise Impact Assessment includes noise data taken in conjunction with input from the adjacent sports centre, with amplified music played in two studios and the gym simultaneously with all windows wide open for ventilation purposes, to give a 'worst case' scenario for noise from the sports centre.

Whilst the NIA does not include noise data taken from football matchdays, including Banks o' Dee who play competitive fixtures in the Highland League, the Planning Service considers that any such noise produced by football practice and fixtures would be unlikely to exceed the 'worst case' scenario of noise generated by amplified music and activity from the gym, sports hall and studios, whose windows and some doors face towards the application site. The football pitch is situated on the opposite side (north-east) of the Spain Park main stand and the sports centre building. Therefore the risk of noise leakage from the football pitch (and spectators) towards the application site is not considered to be significant.

Wheelchair access

There is nothing on the plans about wheelchair accessible homes and the current access road is unsuitable for wheelchair access.

Response: The ground floor flats have all been designed to be wheelchair accessible. Subject to the granting of a separate permission for the indicatively proposed pedestrian bridge link, residents with wheelchairs would be able to use the bridge link to the neighbouring residential development, which would then provide a safe pedestrian & wheelchair route to Abbotswell Road and the surrounding adopted footpath network.

Lack of consultation with neighbours

The lack of consultation with neighbours in the pre-application and planning process is rude and disrespectful

Response: The proposed development is a local, rather than a major development and there is no statutory requirement for applicants to either engage with neighbours during the

pre-application process, nor is there a requirement for pre-application consultation for local developments.

Maintenance of the communal access road

The communal access road has been maintained and improved at the expense of the sports facility and the owner of the former nursing home has not contributed in any way, nor entered into any dialogue in relation to the maintenance of the road.

Response: Land ownership and shared maintenance liabilities are not material planning considerations.

Impact on fundraising for the adjacent sports facility

The redevelopment of the application site for residential use would result in donors and sponsors of the adjacent sports facility withdrawing their financial support which is heavily relied upon for the maintenance and enhancement of the facility.

Response: Such matters are not material planning considerations.

Burden on permitted use

There is a burden on the use of the property as a nursing home which should be honoured by the Council.

Response: Title deed and similar burdens are not material planning considerations.

Fire risk of external cladding

Response: The alleged safety implications of the use of building materials and cladding are not material planning considerations and would instead be assessed by the Council's Building Standards team as part of any Building Warrant application.

Pedestrian bridge link to neighbouring residential site

Response: The pedestrian bridge link over the adjacent burn, to the neighbouring residential development, would be sited outwith the application site and would therefore require a separate planning permission. Its presence on the plans for the current application are therefore for indicative purposes only. The merits of the indicatively proposed bridge link would be assessed fully in any separate planning application and a Grampian condition attached to the current permission, if approved, would prevent the development from being occupied unless the bridge link is installed.

Pedestrian bridge – procedure

Response: The Planning Service is aware that the indicatively proposed pedestrian access bridge does not form part of the current application and will require a separate application. Condition 2 (Scheme for Safe Means of Pedestrian Access) prevents the development from being occupied until such time as an appropriate scheme for a safe means of pedestrian access to the site, agreed with the Planning Authority, has been implemented.

Pedestrian bridge – Land ownership

Response: Land ownership is not a material consideration and any disputes over ownership and access rights would be a matter between the various parties involved. A negative suspensive condition is attached (Condition 2).

Heads of Terms of Legal Agreement

Should the Planning Development Management Committee resolve to approve the application, a Section 75 legal agreement shall first require to be concluded in order to secure the aforementioned financial developer obligations towards healthcare facilities and core paths, as well as securing all of the flats as affordable housing in perpetuity.

RECOMMENDATION

Approve Conditionally & Legal Agreement

REASON FOR RECOMMENDATION

The proposed change of use of the vacant nursing home building to form affordable residential flats would not result in the loss of any existing business or industrial uses, nor would the development harm the operations of any nearby business or industrial uses, therefore the proposals are not contrary to the aims of Policy B1 (Business and Industrial Land) of the Aberdeen Local Development Plan 2023 (ALDP). Although authorised for use as a nursing home (Class 8), the existing building has lain vacant since 2019 without any viable interest in resuming the authorised nursing home use. Furthermore, there is spare capacity in existing nursing / care homes in Aberdeen City, thus the loss of the existing facility has been adequately justified, in accordance with Policy WB4 (Specialist Care Facilities) of the ALDP. The proposed development would not adversely affect the operations or viability of the neighbouring sports centre and football club, in accordance with Policy CF1 (Existing Community Sites and Facilities) of the ALDP.

The provision of affordable housing, on a sustainably accessible site, which is included in the Aberdeen Strategic Housing Investment Plan, is acceptable in accordance with Policy 16 (Quality Homes) of National Planning Framework 4 (NPF4) and the sustainable re-use of a brownfield site, including a vacant building is compliant with the aims of Policies 9 (Brownfield, Vacant and Derelict Land and Empty Buildings) and 12 (Zero Waste) of NPF4.

A satisfactory level of amenity would, on balance, be afforded to the residents of the proposed development, in accordance with the requirements of Policy D2 (Amenity) of the ALDP and sufficient open space would be provided, in accordance with Policy NE2 (Green and Blue Infrastructure) of the ALDP. Subject to the implementation of mitigation measures, the residents of the development would not be significantly affected by any external sources of noise, in accordance with the requirements of Policy 23 (Health and Safety) of NPF4 and Policy WB3 (Noise) of the ALDP.

The development would be of an appropriate design quality for the application site context and would meet the six qualities of successful placemaking as set out in Policy 14 (Design, quality and place) of NPF4 and Policy D1 (Quality Placemaking) of the ALDP. The development would be in a sustainably accessible location, within walking and cycling distance of various amenities and facilities, in accordance with the aims of Policy 15 (Local Living and 20 Minute Neighbourhoods) of NPF4. Subject to the delivery of a safe means of pedestrian access to the site via condition, the site would be accessible via sustainable and active modes of transport, in accordance with Policies 13 (Sustainable Transport) of NPF4 and T2 (Sustainable Transport) of the ALDP. Sufficient car parking would be provided for the proposed use, in accordance with Policy T3

(Parking) of the ALDP.

The development would exceed the 25% affordable housing requirement as set out in Policy 16 (Quality Homes) and Policy H5 (Affordable Housing) of the ALDP and developer obligations shall be secured to offset the impact of the development on local healthcare facilities and the core path network, in accordance with Policies 18 (Infrastructure First) of NPF4 and I1 (Infrastructure Delivery and Planning Obligations) of the ALDP.

The proposed development is also generally compliant with all other relevant policies in NPF4 and the ALDP in relation to: density, housing mix, natural heritage, trees, landscaping, climate change, biodiversity, flooding & drainage, waste management, digital infrastructure, suicide risk and healthy developments.

CONDITIONS

(1) DURATION OF PERMISSION

The development to which this notice relates must be begun not later than the expiration of 3 years beginning with the date of this notice. If development has not begun at the expiration of the 3-year period, the planning permission lapses.

Reason - in accordance with section 58 (duration of planning permission) of the 1997 act.

(2) SCHEME FOR SAFE MEANS OF PEDESTRIAN ACCESS

The development hereby approved shall not be occupied unless a scheme for the safe means of pedestrian and wheelchair access to and from the site from Abbotswell Road has been submitted to and agreed in writing by the Planning Authority and thereafter the approved scheme has been implemented in accordance with the agreed details, prior to the occupation of the development.

Reason: In order to ensure that the development can be accessed safely by walking and wheeling.

(3) NOISE MITIGATION

The development hereby approved shall not be occupied unless the critical noise mitigation measures set out in the 'Mitigation' section on Pages 17-20 of the approved Noise Impact Assessment (Couper Acoustics - Ref: 1029212314 – V1, Date: 8 June 2022) have been implemented in full.

Reason: In order to protect the residents of the development from external sources of noise and to protect the operations and viability of neighbouring commercial uses.

(3) EXTERNAL FINISHING MATERIALS

No development shall take place unless a scheme detailing all external finishing materials to the roof and walls of the development hereby approved has been submitted to, and approved in writing by, the planning authority and thereafter the development shall be carried out in accordance with the details so agreed.

Reason: In the interests of visual amenity.

(4) SOFT LANDSCAPING AND TREE PLANTING

No works in connection with the development hereby approved shall take place unless a scheme of soft landscaping works has been submitted to and approved in writing by the Planning Authority.

Details of the scheme shall include:

- (i) Existing landscape features and vegetation to be retained;
- (ii) The location of new trees, shrubs, hedges, grassed areas;
- (iii) A schedule of planting to comprise species, plant sizes and proposed numbers and density;
- (iv) An indication of existing trees, shrubs and hedges to be removed.
- (v) A programme for the completion and subsequent maintenance of the proposed landscaping.

All soft landscaping proposals shall be carried out in accordance with the approved scheme and shall be completed no later than the planting season immediately following the commencement of the development or such other date as may be agreed in writing with the Planning Authority. Any planting which, within a period of 5 years from the completion of the development, in the opinion of the Planning Authority is dying, being severely damaged or becoming seriously diseased, shall be replaced by plants of similar size and species to those originally required to be planted.

In addition, prior to the commencement of the implementation of the approved scheme, detailed proposals for a programme for the long term management and maintenance of all the approved landscaped and open space areas within the development shall be submitted for the further written approval of the Planning Authority. Thereafter, all management and maintenance of the landscaped and open space areas shall be implemented, in perpetuity, in accordance with the approved programme.

Reason: To ensure the implementation of a satisfactory scheme of landscaping which will help to integrate the proposed development into the local landscape in the interests of the visual amenity of the area and to ensure that the landscaping is managed and maintained in perpetuity.

(5) HARD LANDSCAPING MATERIALS

No works in connection with the development hereby approved shall take place unless a scheme of hard landscaping works, including the surface materials to be used for all roads, car parking areas, footpaths and other areas of hard landscaping, has been submitted to and approved in writing by the Planning Authority. Thereafter no flat shall be occupied unless the works have taken place in accordance with the agreed details.

Reason: To ensure the use of satisfactory materials for the hard-landscaped aspects of the development.

(6) CAR PARKING

The development hereby approved shall not be occupied unless the car parking area has been laid out in accordance with the details shown on approved Bradley Craig Architects drawing D(0-01)01 Revision H (Proposed Site Plan), or other such drawing as may be agreed in writing with the Planning Authority.

Reason: In order to ensure that sufficient car parking is provided for the development.

(7) BOUNDARIES

The development hereby approved shall not be occupied unless a detailed scheme of site and plot boundary enclosures (including all fences and walls) for the entire development has been submitted to and approved in writing by the Planning Authority. Thereafter the boundary treatments shall be installed in accordance with the agreed details prior to occupation.

Reason: in order to preserve the character and amenity of the area.

(8) ELECTRIC VEHICLE CHARGING POINTS

The development hereby approved shall not be occupied unless details of all electric vehicle charging points to be installed in the car parking area have been submitted to, agreed in writing with, the Planning Authority and the charge points have thereafter been installed in accordance with the agreed details.

Reason: In order to ensure that sufficient electric vehicle charging points would be provided, thus encouraging the use of sustainably powered vehicles.

(9) TREE PROTECTION

No development in relation to the extension of the car park shall take place unless a detailed cross-section and construction methodology for the areas of the extended car parking area that would be formed within the root protection areas of trees to be retained, as shown on the approved Tree Survey Site Plan drawing (Struan Dalgleish Arboriculture – March 2023 - Appendix 1), has been submitted to and agreed in writing with the Planning Authority. Thereafter the works shall not take place other than in accordance with the agreed details. All other works within the site shall not take place other than in accordance with the tree protection details set out in sections 4.3 and 4.4 of the approved Tree Survey.

Reason: in order to ensure adequate protection for the trees on site during the construction of the development.

(10) DRAINAGE INFRASTRUCTURE

No development shall take place unless a scheme of all new drainage infrastructure, designed to meet the requirements of Sustainable Urban Drainage Systems, has been submitted to and approved in writing by the Planning Authority and thereafter no part of the development shall be occupied unless the drainage has been installed in complete accordance with the agreed scheme.

Reason: in order to safeguard water qualities in adjacent watercourses and to ensure that the development can be adequately drained.

(11) WASTE MANAGEMENT

The development hereby approved shall not be occupied unless the bin store area shown on approved drawings D(0-)01 Revision H (Proposed Site Plan) and D(0-)05 Revision B (Proposed Elevations) has been constructed and the required bins (2 x 1280l general waste, 2 x 1280l mixed recycling and 1 x food waste container) have been installed and are made available for use by residents upon occupation.

Reason: In order to ensure that waste and recyclables generated by the development would be securely and hygienically stored pending collection.

(12) CYCLE PARKING

The development hereby approved shall not be occupied unless details of the cycle racks to be installed within the Ground Floor cycle store have been submitted to and approved in writing by the Planning Authority. Thereafter the cycle storage facility shall be provided as shown on approved drawing D(0-)02 Revision G (Proposed Ground Floor Plan) and with the approved racks installed prior to occupation.

Reason: In the interests of encouraging more sustainable and active modes of travel.

(13) RESIDENTIAL TRAVEL PACK

No unit shall be occupied unless a residential travel pack has been submitted to and approved in writing by the planning authority. Each residential travel pack shall identify details of different travel options available in the area in order to discourage the use of the private car. The approved travel pack shall be supplied to the occupants of every residential unit on occupation.

Reason - In order to reduce dependency on the private car for travel.

(14) BROADBAND CONNECTION

No unit shall be occupied unless a scheme for the provision of a full fibre broadband connection to each flat has been submitted to and approved in writing by the planning authority. Thereafter the scheme shall be implemented as approved and no flat shall be occupied unless provided with a full fibre broadband connection.

Reason: In order to provide all flats with access to high-speed communications infrastructure, in accordance with the requirements of Policy CI1 (Digital Infrastructure) of the Aberdeen Local Development Plan 2023.

(15) EXTERNAL LIGHTING

The development hereby approved shall not be occupied unless a scheme for all external lighting within the development has been submitted to and approved in writing by the Planning Authority, and thereafter implemented in full accordance with said scheme.

Reason: In the interests of public safety.

ADVISORY NOTES FOR APPLICANT

(1) NOISE FROM CONSTRUCTION WORKS

Operations creating noise which is audible at sensitive receptors should not occur outside the hours of 7am to 7pm Monday to Friday and 8am to 1pm on Saturdays.

(2) BIN PROVISION

The 24 flats will be provided with:

- 2 x 1280l general waste container 128CM W X 145CM H X 100CM D (90cm minimum clearance to manoeuvre bins)
- 2 x 1280l co-mingled recycling container 128CM W X 145CM H X 100CM D (90cm minimum clearance to manoeuvre bins)

1 x food waste container for each bin store. 62CM W X 129.8CM H X 74CM D (80CM X 80CM (90cm minimum clearance to remove internal bin from front opening casing)
24 x kitchen caddy and caddy liners (for each property)

When planning bin stores, please take these measurements into account to ensure ease of use residents and collection for crew.

The following costs will be charged to the developer:

Each 1280l bin costs £454.00

Each food waste container costs £566.00

Kitchen caddy and caddy liners £0.00

A delivery of 10 or less bins will incur a £33 delivery fee.

No garden waste will be provided for flat residences as it is assumed grounds will be maintained as part of a service charge for the building and undertaken by a commercial contractor.

It is pertinent to note that these services will be provided taking account of the following:

No excess should be stored out with the containment provided. This is fly tipping.

If the bin store will be locked and/ or involve a barrier, 8 keys must be provided for each store, providing access to the different collection crews and Recycling Officer for monitoring contamination. These should be dispatched to the Waste Team.

Large item collections can be arranged by visiting www.aberdeencity.gov.uk

Further information can be found in the Waste Supplementary Guidance available at: <https://www.aberdeencity.gov.uk/sites/default/files/2020-07/7.1.PolicySG.ResourcesForNewDevelopmentUpdateJuly2020.pdf>

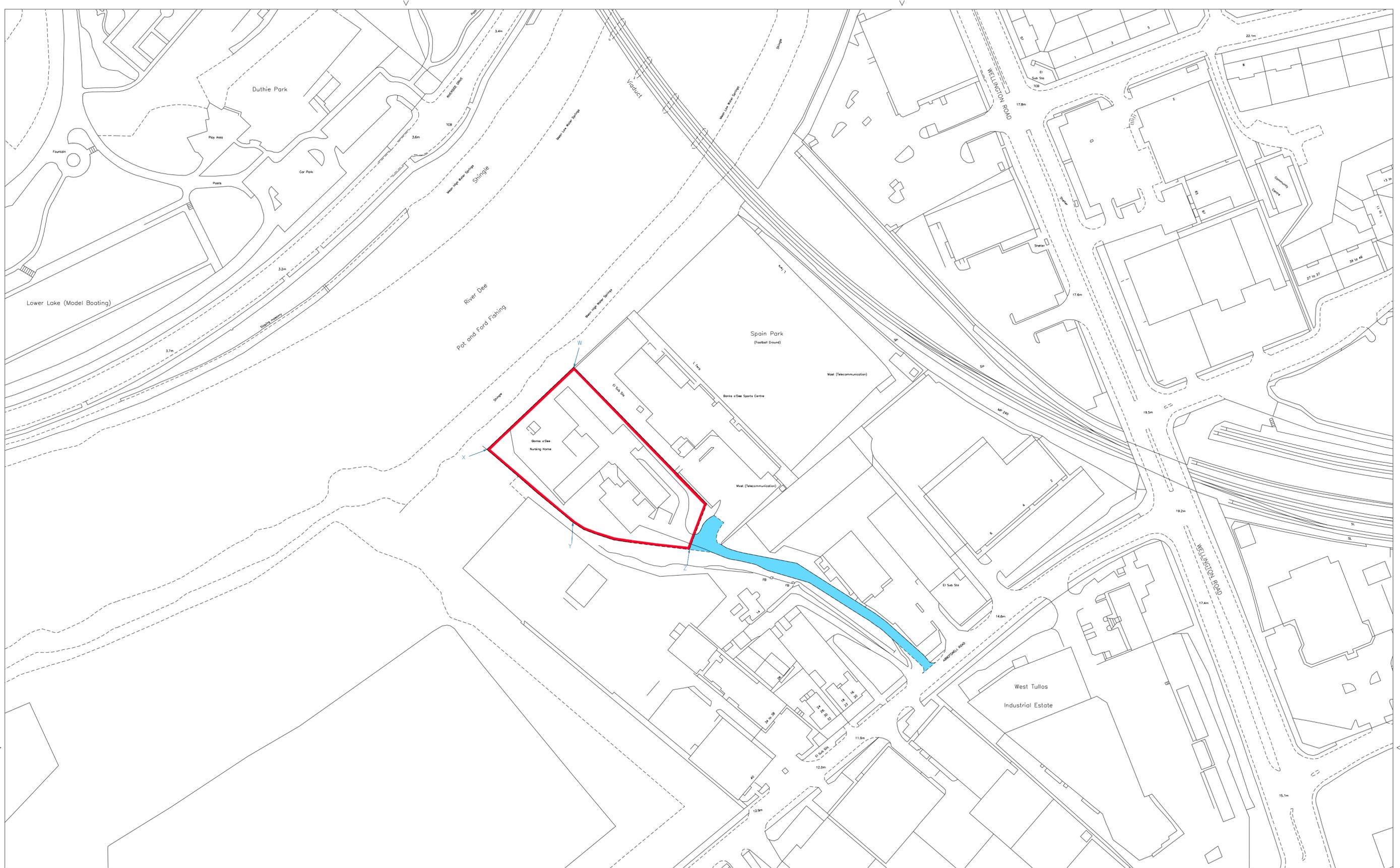
Developers must contact Aberdeen City Council a minimum of ONE month before properties will be occupied this is to ensure that bins are on site prior to residents moving into properties and to give enough time to register addresses on the CAG (Council Address Gazetteer) to allow for the development to be added to the refuse vehicle routes.

A Purchase Order should be raised with Aberdeen City Council using the above details and we will provide further guidance for purchasing the bins.

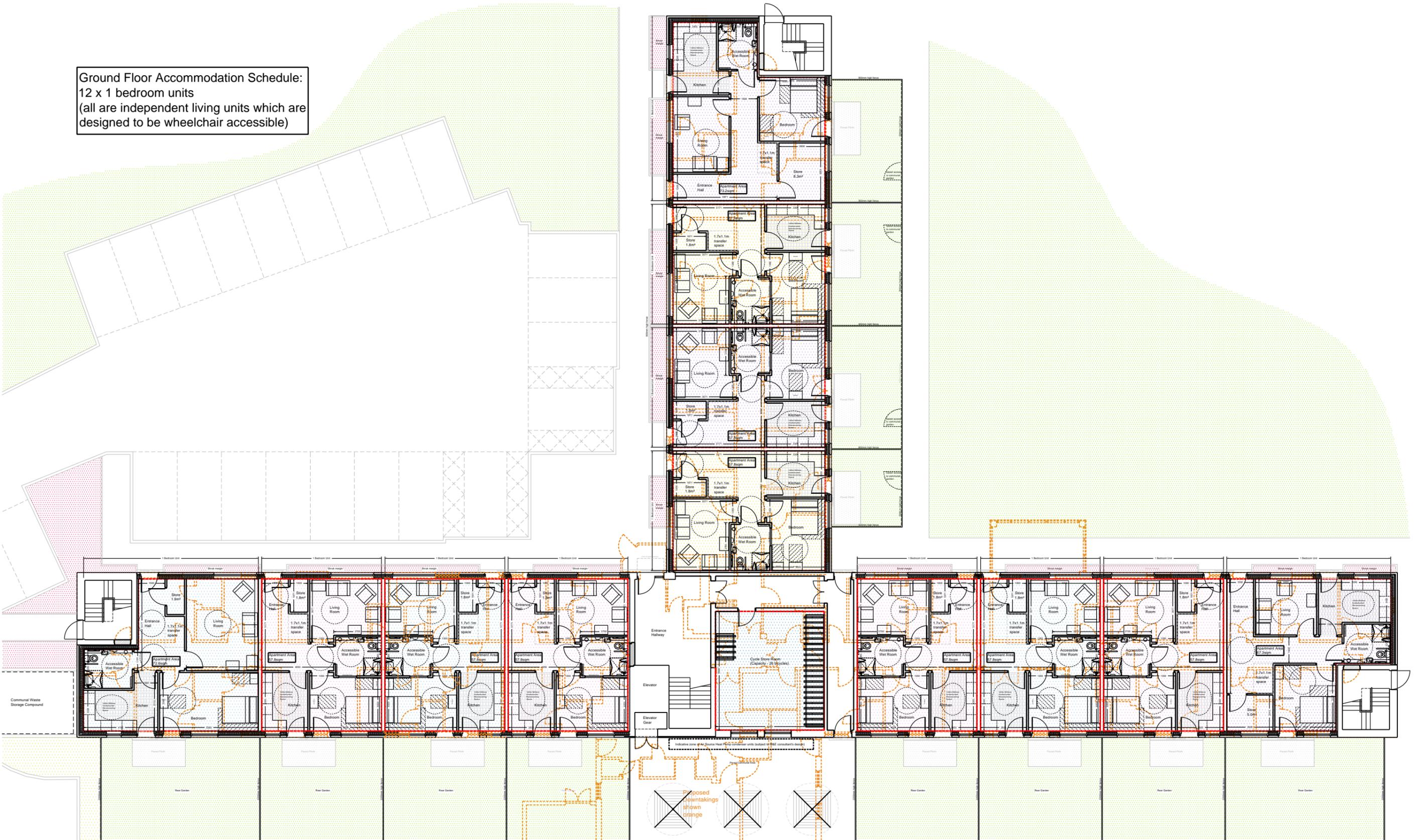
Please submit a PO for the bins you require.

Should you have any further queries or wish to discuss these comments further, please do not hesitate to contact wasteplanning@aberdeencity.gov.uk

 LAND REGISTER OF SCOTLAND	Officer's ID / Date	TITLE NUMBER
	6707 21/10/2015	KNC2813
 ORDNANCE SURVEY NATIONAL GRID REFERENCE	70m	
	Survey Scale	
NJ9303NE NJ9403NW NJ9403NE NJ9304SE		1/1250
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Ground Floor Accommodation Schedule:
 12 x 1 bedroom units
 (all are independent living units which are
 designed to be wheelchair accessible)

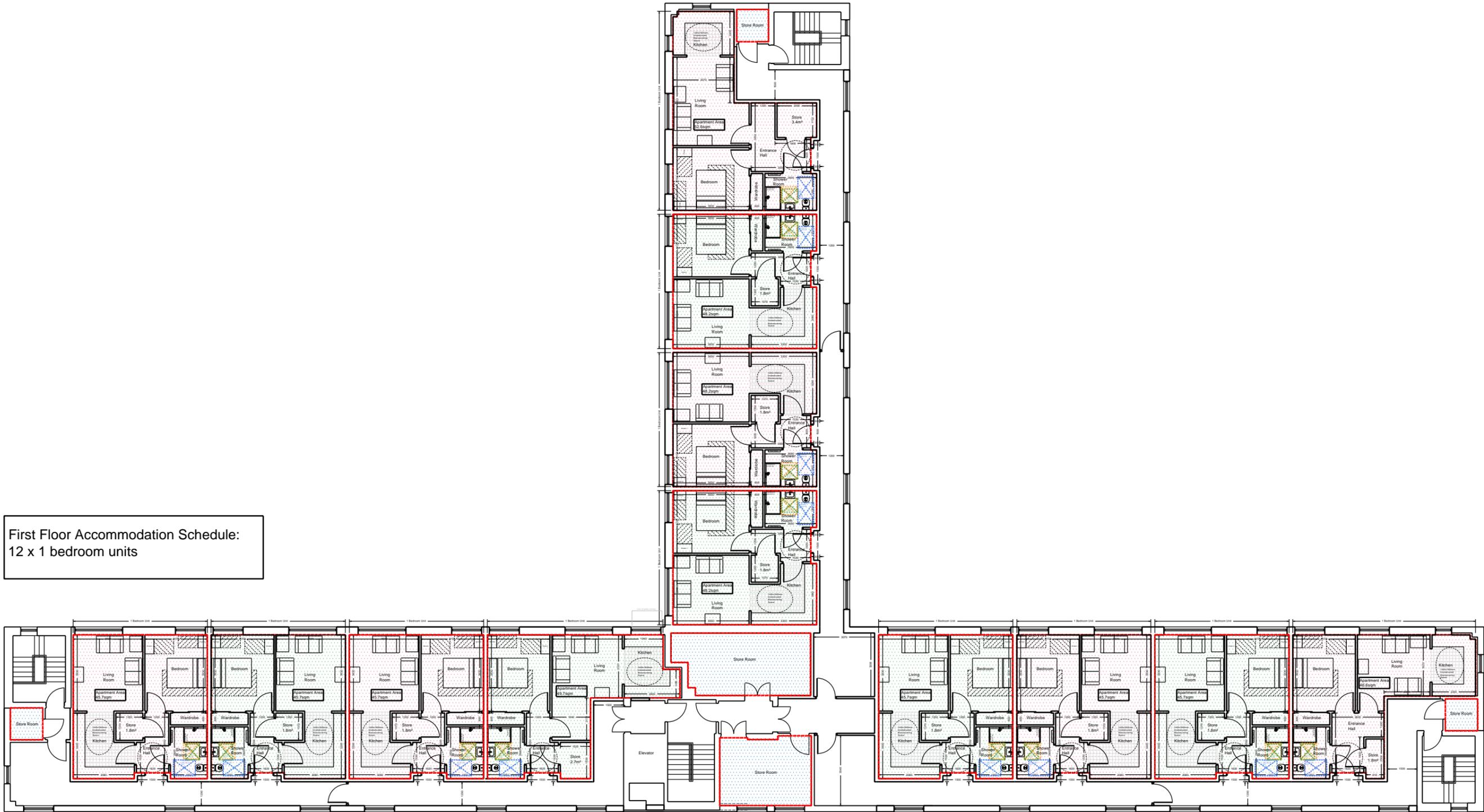


Proposed Ground Floor Plan
 Scale 1:200 at A3



Conversion of Banks O' Dee care home
 for Hillcrest Homes (Scotland) Ltd
 Drawing Number: D (0-) 02 Revision G

First Floor Accommodation Schedule:
12 x 1 bedroom units



Proposed First Floor Plan
Scale 1:200 at A3



Proposed Northeast Elevation
Scale 1:200 at A3



Proposed Southwest Elevation
Scale 1:200 at A3

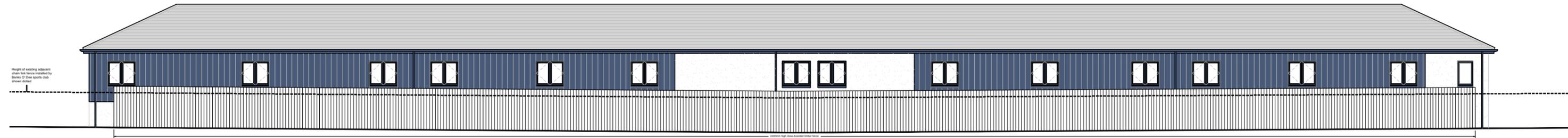


Proposed Northwest Elevation
Scale 1:200 at A3

PROPOSED MATERIALS:
 ROOF: EXISTING ROOF TILES RETAINED WITH INFILLED SECTIONS TO MATCH EXISTING.
 WALLS (GROUND FLOOR LEVEL AND CORNER ESCAPE STAIRWELLS): WHITE DRYDASH FINISH TO BLOCKWORK.
 WALLS (FIRST FLOOR LEVEL): ROCKPANEL COLOURS FS-XTRA 9mm PANELS TO BLOCKWORK (COLOUR RAL 7016).
 CONCEALED BLOCKWORK BASECOURSE.
 uPVC WINDOWS, DOORS AND ROOF FASCIA TRIM (COLOUR RAL 7016).
 uPVC RAINWATER GOODS (COLOUR RAL 7016).
 GLASS ENTRANCE CANOPY



Proposed Southeast Elevation
Scale 1:200 at A3



Proposed Northeast Elevation - boundary fence treatments
Scale 1:200 at A3



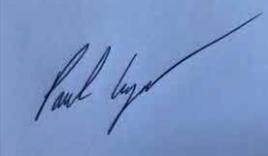
Proposed Northwest Elevation - boundary fence treatments
Scale 1:200 at A3



Proposed Southeast Elevation - boundary fence treatments
Scale 1:200 at A3

Noise Impact Assessment

Proposed Residential
Conversion at Banks O
Dee Care Home,
Abbotswell Rd,
Aberdeen AB12 3AB

Prepared By:	Paul Couper
	
BSc (Hons) PGDip MREHIS AMIOA	
8 June 2023	

Ref: 1029212314 – V1



Couper Acoustics
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Introduction, Site Location, and Proposal

- 1.01 A planning application is to be submitted to Aberdeen City Council for a proposed conversion of the former Banks O Dee Care Home to residential properties.
- 1.02 A consultation response has been received from Environmental Health advising that a noise impact assessment will be required. This has been requested due to the potential impact of noise from Riverside Drive Road traffic and amplified music/fixed plant equipment of nearby premises on the proposed residential properties.
- 1.03 This report measures and predicts the noise levels from some of these sources at the proposed development and compares with established noise criteria. It also recommends mitigation where needed.
- 1.04 The former care home is located immediately south of the River Dee and adjacent to the Banks O Dee Sports Club. The building is currently not occupied, and the site appears to have not been used for some time. The location is shown in Figure 1.



Figure 1 Site Location Plan of Proposed Conversion of Banks O Dee Care Home

- 1.05 The building is two storeys, and the proposal is to develop the site into 1-bedroom apartments with external amenity spaces. Layout plans and elevations showing the proposed first and second floor layout as well as external amenity areas is shown in Appendix A.

Methodology

- 2.01 Consultation with Environmental Health (EH) took place, and it was advised that a noise impact assessment should be conducted that measures and predicts the noise level of road traffic from Riverside Drive and amplified music/fixed plant from the adjacent Banks O Dee Sports Club.
- 2.02 Due to roadworks on Riverside Drive, it was agreed that a broadband figure could be used from noise modelling for an adjacent development. Amplified music from Banks O Dee Sports Club would be measured and predicted to meet NR15 inside the proposed residential conversion. Banks O Dee Sports Club fixed plant would also be considered and an internal noise criterion of NR25 was agreed.
- 2.03 Although not specifically mentioned in pre-app discussions a BS4142+A1:2019 has been undertaken for fixed plant potentially affecting external amenity spaces adjacent to the Banks O Dee Sports Club. Additionally, an assessment of sports hall use has also been undertaken following discussions with the sports club.
- 2.04 All noise parameters measured are in dB re 2×10^{-5} Pa.

Noise Impact Assessment Criteria

- 3.01 BS 8233:2014 – Guidance on Sound Insulation and Noise Reduction for Buildings establishes basic noise criteria for dwellings and is shown in Table 1.

Activity	Location	07:00 to 23:00 (Daytime)	23:00 to 07:00 (Night Time)
Resting	Living Room	35dB, $L_{Aeq, 16hrs}$	N/A
Dining	Dining Room/Area	40dB, $L_{Aeq, 16hrs}$	N/A
Sleeping (Daytime Resting)	Bedroom	35dB, $L_{Aeq, 16hrs}$	30dB, $L_{Aeq, 8hrs}$
Outdoor Activity	Outdoor Amenity	50-55dB, $L_{Aeq, 16hrs}$	N/A

Table 1 BS8233:2014 – Indoor and Outdoor Ambient Noise Levels for Dwellings

- 3.02 Noise Rating (NR) Curves are a graphical method for assigning a single-number rating to a noise spectrum. They are a linear based octave band frequency spectrum and generally used for rating steady state noise such as mechanical services. They ensure that the sound is within a set level for each frequency band (31.5Hz- 8kHz). This ensures that the character of the noise can be controlled.
- 3.03 NR Curves are based on the equal loudness contours in the superseded versions of ISO226 where its application is for pure tones. What is shown is that pure tones in lower frequencies tend to have higher sound pressure levels for them to be perceived to have equal loudness compared to mid to high frequencies. Very high frequencies are an exception to this.
- 3.04 BS4142+A1:2019 assesses the impact of sound from a source based on a comparison of the ‘rating level’ and ‘background sound level’. The rating level is determined by applying appropriate character corrections to a source ‘specific sound level’ at relevant sensitive receptor locations. The ‘background sound level’ is the representative L_{A90} of the ‘residual sound’ at these locations. The greater the rating level exceeds the background sound level, the greater the significance of adverse impact at the assessment location.
- 3.05 The BS4142+A1:2019 assessment of impact of the sound is produced by subtracting the ‘background sound level’ from the ‘Rating level’. A difference of around +10dB or more is likely to indicate a significant adverse impact (depending on the context). A difference of around +5dB is likely to indicate an adverse impact (depending on the context). No exceedance indicates a low impact (depending on the context).

Road Traffic Noise Survey and Results

- 4.01 Due to planned roadworks taking place on Riverside Drive the road was closed and a noise measurement survey could not take place. Environmental Health was contacted, and it was agreed that an alternative methodology could be used.
- 4.02 The methodology would be based on using a single broadband figure for the $L_{Aeq16hr}$ & L_{Aeq8hr} derived from publicly available modelling¹. The modelling shows that the external amenity area at the care home would not exceed daytime outdoor amenity noise criteria in Table 1. However, there is likely to be exceedances of internal amenity noise standards. For ease of reference the external amenity area, facades, and gable ends of the building have been highlighted and numbered and shown in Figure 2. Facades 5 & 6 also have individual external amenity spaces.

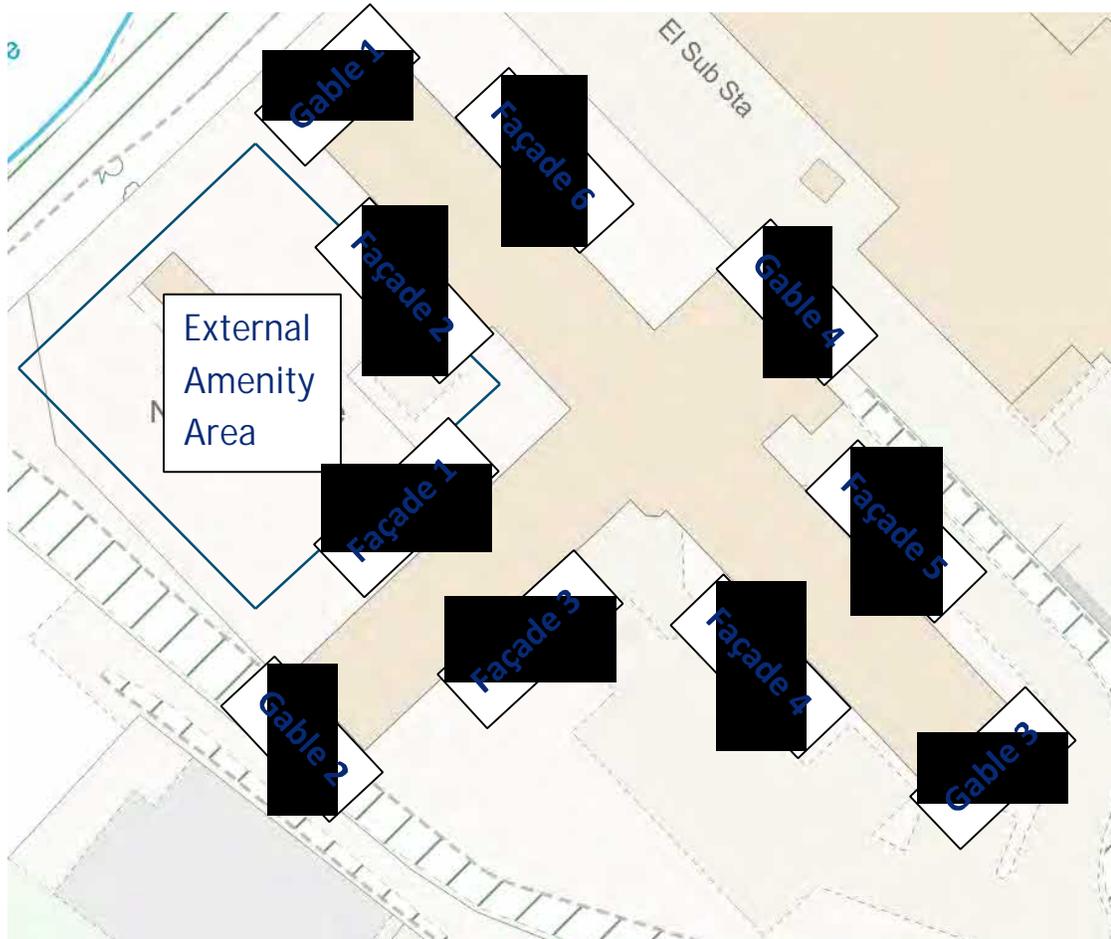


Figure 2 Labelled Facades, Gables, and main External Amenity Area of Existing Care Home Layout

- 4.03 The predicted external single figure noise levels derived from the modelling have been predicted to the internal spaces and shown in Table 2. The predicted internal figures assume the modelling has not arithmetically added a façade correction and therefore 3dB is added. It is assumed that a slightly open window provides 15dB attenuation.

¹ CSP Acoustics Noise Impact Assessment Ref 1262 001PR V1

Façade/Gable	Room	Internal L _{Aeq16hour}	Internal L _{Aeq8hour}
Gable 1	Living Room	48dB	N/A
Gable 2	Living Room	43dB	N/A
Gable 3	N/A	N/A	N/A
Gable 4	N/A	N/A	N/A
Façade 1	Bedroom	43dB	38dB
Façade 2	Living Room/Bedroom	43dB	38dB
Façade 3	Living Room/Bedroom	43dB	33dB
Façade 4	Living Room/Bedroom	38dB	33dB
Façade 5	Bedroom	38dB	33dB
Façade 6	Bedroom	43dB	38dB

Table 2 Predicted Road Traffic Internal Noise Levels

4.04 Table 2 shows that the internal daytime and night time noise criteria shown in Table 1 for bedrooms and open plan living rooms will be exceeded with a slightly open window. Therefore, mitigation is required which is detailed in the 'mitigation' section of this report. Gables 3 & 4 do not have any bedroom or living areas, hence have not been included in Table 2.

Noise Rating Curve Assessment Survey and Results

- 5.01 Noise associated with amplified music and fixed plant from Banks O Dee Sports and Fitness was agreed to be investigated and assessed. Couper Acoustics contacted Iain Watson the general manager of the facility and it was agreed that noise measurements could take place of ‘worst case’ amplified music scenario.
- 5.02 Couper Acoustics attended to take noise measurements on the 23 March 2023. To represent a ‘worst case’ scenario two studios and the gym were playing amplified music simultaneously and all windows were open very wide for ventilation purposes.
- 5.03 The sound level meter microphone was positioned 1.3 metres high and 1m from four façades of the proposed development building. Calibration took place before and after the measurement and no significant drift was detected. Information on the sound level meter, calibrator, and calibration certificates can be found in Appendix B.
- 5.04 The weather conditions were monitored using a Kestrel 5500 and were dry throughout. Average wind speed was 0.7m/s. The temperature was 10 degrees Celsius. Cloud Cover was approx. on average 10-20%.
- 5.05 The results of the amplified music noise monitoring are shown in Table 3.

Octave Bands	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz
Façade 5 $L_{eq5mins}$ (dB)	70.8	63.2	53.4	51.9	52.3	47.5	42.2	37.3
Façade 6 $L_{eq5mins}$ (dB)	59.4	50.7	44.9	46.5	46	38.9	33.8	30
Façade 4 L_{eq5min} (dB)	56.1	52.4	49	45.4	47.2	41.6	46.2	38.8
Façade 3 L_{eq5min} (dB)	61.9	55.4	47.5	47.3	47.4	41.9	42.5	38

Table 3 Measured Amplified Music Noise Levels from Banks O Dee Sports and Fitness

- 5.06 For the purposes of the assessment, it is assumed that Gables 1 & 2 and Facades 1 & 2 receive the same measured amplified music noise levels as Façade 3. This is because the proposed residential building itself will act as a significant barrier to these areas of the building and they are at a greater distance from source. Gables 3 and 4 do not have any bedrooms or living area windows and are therefore screened out of this section of the assessment.
- 5.07 The measured amplified music noise levels are to be compared with NR15 internally at the proposed receptors. NR 15 is a linear spectrum-based criteria which requires that the maximum noise level at a range of frequencies should not be exceeded as shown in Table 4.

Octave Bands	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz
NR15 (dB)	47.3	35	25.9	19.4	15	11.7	9.3	7.4

Table 4 NR15 Noise Rating Curve Octave Band Centre Frequencies

- 5.08 Assuming an open window provides 15dB attenuation across the octave bands frequency spectrum, NR15 will be exceeded with a slightly open window at all facades and gable ends of the building. Therefore, further mitigation is required which is detailed in the ‘mitigation’ section of this report.
- 5.09 Fixed plant was to be assessed and compared with an internal noise criterion of NR25. The Banks O Dee Sports Club had three in situ Daiken fixed plant units that were positioned on the wall of the building adjacent to Gable 4 and Façade 5 of the proposed residential building. The fixed plant position is shown in Figure 3 with a yellow star. The units in situ are one Daiken RZAG125N2V1B Unit, one Daiken RZQSG140L7Y1B Unit, and one Daiken RYP125B7W1 Unit.



Figure 3 Existing Fixed Plant Position on Sports Centre Building Relative to Care Home Building

5.10 The sound power level data for each unit is appended in Appendix C. Daiken could not provide sound power level data for the RYP125B7W1 unit therefore indicative sound power levels have been calculated based on the sound pressure levels being measured at 1m from the unit and in free field conditions. The noise levels have been predicted internally at the nearest receptor window on façade 5 with a comparison with NR25. This is shown in Table 5.

Octave Bands	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz
L _w (dB) RZQSG140L7Y1B Unit	68.2*	69	70	68	62	60	59	50
L _w (dB) RYP125B7W1 Unit	68.2	67.6	63.6	59.2	54	48.3	45	42
L _w (dB) RZAG125N2V1B Unit	72	71	69	70.5	62	57	52	48
Total L _w (dB)	74.6	74.2	73	72.6	65.3	62	59.9	52.5
Distance Attenuation (dB)**	-30	-30	-30	-30	-30	-30	-30	-30
Façade Reflection (dB)	+3	+3	+3	+3	+3	+3	+3	+3
Slightly Open Window Attenuation (dB)	-15	-15	-15	-15	-15	-15	-15	-15
Internal L _{eq} (dB)	32.6	32.2	31	30.6	23.3	20	17.9	10.5
NR25 (dB)	55.2	43.7	35.2	29.2	25	21.9	19.5	17.7
Exceedance (dB)	None	None	None	1.4	None	None	None	None
*63Hz Figure not available so it is assumed it is the same figure as RYP125B7W1 Unit **17m to receptor façade 5 and two reflecting planes								

Table 5 Predicted Internal L_{eq} (dB) from Existing Fixed Plant and Comparison with NR25

5.11 Table 5 shows that NR25 will be slightly exceeded internally at the receptor, therefore further mitigation is required which is detailed in the 'mitigation' section of this report.

BS4142+A1:2019 Assessment and Results

6.01 Couper Acoustics attended the proposed residential building between 20:00 and 22:00 on the 5 June 2023 to carry out a background monitoring survey. The time was chosen as no gym classes playing amplified music were scheduled and there would be reduced level of traffic on surrounding road networks. The location of the background monitoring position is shown by an orange arrow in Figure 4 to represent the external amenity areas at façade 5 and 6. This position was chosen to avoid any influence of the existing fixed plant on the measurement.



Figure 4 Background Monitoring Location Highlighted with Orange Arrow

- 6.02 The sound level meter was positioned 1.3 metres high and in free field conditions. A windshield was fitted to the sound level meter microphone. Measurement instrumentation conformed to a Class 1 integrating sound level meter specification in accordance with BS EN 61672-1: 2003. Full instrument information is provided in Appendix B.
- 6.03 Calibration took place before and after the measurement and no significant drift was detected. Information on the sound level meter, calibrator, and calibration certificates can be found in Appendix C.
- 6.04 The weather conditions were monitored using a Kestrel 5500 and were dry throughout. Wind speed was on average 0.1m/s, the temperature was 11 degrees centigrade, and cloud cover was 100%.
- 6.05 The results of the daytime background monitoring survey are shown in Table 6.

Time Period	L _{A90} dB	L _{Aeq} dB	L _{A10} dB	L _{Amax} dB	Commentary
20:00 – 20:15	43.4	46.1	48.2	61.8	Soundscape consisted of local and distant road traffic, seagull and small bird calls, distant fixed wing aircraft, members of the sports centre leaving and entering the premises. No amplified music was heard. L _{A90} mode: 42dB L _{A90} median: 41dB L _{A90} linear mean: 41dB L _{A90} log mean: 41.5 L _{A90} range: 40 – 43dB
20:15 – 20:30	42.4	47.5	50.8	62.2	
20:30 – 20:45	41.8	45.3	47.4	58.8	
20:45 – 21:00	42	46.4	47.7	67.2	
21:00 – 21:15	41	45.1	47.5	63.3	
21:15 – 21:30	40.8	54.7	57.2	75.1	
21:30 – 21:45	40	48.9	53.8	64	
21:45 – 22:00	39.5	48.8	48.3	78.8	

Table 6 Daytime Background Survey Results at Monitoring Location

6.06 Noise from the fixed plant outlets has been predicted to the geometric centre of the nearest external amenity area at façade 5 and façade 6 on Figure 3. The predicted noise figures are shown in Table 7 and 8 respectively.

Octave Bands	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz
L _w (dB) RZQSG140L7Y1B Unit	68.2	69	70	68	62	60	59	50
L _w (dB) RYP125B7W1 Unit	68.2	67.6	63.6	59.2	54	48.3	45	42
L _w (dB) RZAG125N2V1B Unit	72	71	69	70.5	62	57	52	48
Total L _w (dB)	74.6	74.2	73	72.6	65.3	62	59.9	52.5
Distance Attenuation* (dB)	-27	-27	-27	-27	-27	-27	-27	-27
A-weighting (dB)	-26.2	-16.1	-8.6	-3.2	0	+1.2	+1	-1.1
L _{Aeq} (dB)**	21.4	31.1	37.4	42.4	38.3	36.2	33.9	24.4
*13m and two reflecting planes **Broadband L _{Aeq} is 45.7dB.								

Table 7 Predicted L_{Aeq} (dB) at Centre of Façade 5 Nearest External Amenity Area

Octave Bands	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz
L _w (dB) RZQSG140L7Y1B Unit	68.2	69	70	68	62	60	59	50
L _w (dB) RYP125B7W1 Unit	68.2	67.6	63.6	59.2	54	48.3	45	42
L _w (dB) RZAG125N2V1B Unit	72	71	69	70.5	62	57	52	48
Total L _w (dB)	74.6	74.2	73	72.6	65.3	62	59.9	52.5
Distance Attenuation* (dB)	-34	-34	-34	-34	-34	-34	-34	-34
A-weighting	-26.2	-16.1	-8.6	-3.2	0	+1.2	+1	-1.1
L _{Aeq} (dB)**	14.4	24.1	30.4	35.2	31.3	29.2	26.9	17.4
*27m and two reflecting planes **Broadband L _{Aeq} is 38.7dB.								

Table 8 Predicted L_{Aeq} (dB) at Centre of Façade 6 Nearest External Amenity Area

6.07 It is assumed that the noise sources will be in operation for the full 1-hour reference period. The broadband L_{Aeq1hr} (dB) figure at façade 5 and 6's external amenity spaces from noise from the fixed plant is predicted and calculated to be 46dB and 39dB respectively. The background measurement results and the calculated L_{Aeq1hr} (dB) at the external amenity areas have been used to carry out a BS4142:2014+A1:2019 assessment. The specific noise level has been rated in accordance with BS4142:2014+A1:2019 and a comparison made with the background measurement to give an excess over the rating level. The BS4142:2014+A1:2019 assessment is shown in Table 9.

Results	BS4142 Assessment Results	Commentary
Specific sound level L_{Aeq1hr} façade 5	46dB	Derived from Table 7 and 8
Specific sound level L_{Aeq1hr} façade 6	39dB	
Acoustic feature correction	+2dB	Although not strictly tonal a very faint hum was just perceptible against residual environment.
Rating Levels	Façade 5 - (46 + 2) dB = 48dB Façade 6 - (39 + 2) = 41dB	
Background sound level L_{A90} (15min)	$L_{A90(15min)} = 41dB$	Table 3 – median and linear mean of one of quietest periods of operating
Excess of rating over the background sound level	(48 - 41) dB = 7dB (41 - 41) = 0dB	
BS4142 Noise Criteria	Rated level is 7dB above background	At Façade 5 external amenity areas only

Table 9 BS4142:2014+A1:2019 Rated Noise Level Assessment

6.08 The rated level is 7dB above the background sound level at Façade 5's external amenity areas. BS4142:2014+A1:2019 states that where the rating level exceeds the background sound level by around 5dB this is an indication of an adverse impact depending on the context. Mitigation is required which is further detailed in the mitigation section of this report.

Other Noise Sources Assessment and Results

- 7.01 During the site visits and noise survey of Banks O Dee Sports and Fitness, General Manager Iain Watson advised that there is noise produced from the use of the sports hall that may impact on the proposal. The sports hall opens a door at the rear for ventilation which can lead to noise break out from users shouting and balls being used. The location of the door is shown in Figure 5 with a yellow star.



Figure 5 Sports Hall Door Position Relative to Existing Care Home Building

- 7.02 Due to the location of the door, subjectively façade 6 was the only area of the proposed building that was impacted by sports hall use. During the site visit, it was being used by schoolchildren playing basketball. Noise from the hall varied considerably during its use and was dependent on the position of children in the hall and what game was being played. There were also breaks in the activity for teacher instruction. A noise measurement took place at the façade of Façade 6 directly in line with the open door to the sports hall when children were using the North end of the hall which is closest to the door. The noise measurement result is shown in Table 10.

Octave Bands	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz		Total L _{Aeq5min} (dB)
L _{eq(5min)} (dB)	57.8	60.9	48.9	49.3	52.6	50.7	44.2	33.9		56.6

Table 10 Sports Hall Noise Levels Measured at Façade 6

7.03 To assess this type of noise, an internal criterion of NR15 has been used as well as the external criterion of L_{AeqT} 50-55dB displayed in Table 1. Using a slightly open window scenario affording 15dB for attenuation NR15 will not be met internally in façade 6 ground floor bedrooms. The broadband L_{Aeq5min} 56dB figure shown in Table 10 would exceed the external amenity criteria shown in Table 1 of 50-55dB. Therefore, further mitigation is required which is detailed in the mitigation section of this report.

Mitigation

- 8.01 The amplified music noise measurement and predictions to internal amenity spaces have shown that NR15 will not be met with an open window for ventilation. In addition to this, internal amenity spaces will also exceed noise amenity standards from road traffic noise, existing fixed plant, and the use of the sports hall. To achieve the internal amenity noise criteria's, mitigation in the form acoustic glazing, doors and trickle ventilation will be required based on a closed window scenario.
- 8.02 Aberdeen City Supplementary Guidance on Noise has been reviewed. It is noted that it states in the context of the internal noise levels criterion:

Alternative ventilation may be required where it is not possible to achieve these criteria with traditional window designs and windows partially open for ventilation.

And

Where the above values cannot be met, mitigation solutions should be explored, taking into account their impact on the built environment. Design solutions may be possible, such as locating living rooms and bedrooms on the opposite side of a building to the source of the noise or using windows with improved sound reduction.

- 8.03 It is therefore assumed that a 'closed window' scenario can be used in these circumstances. To determine the internal noise levels the bedroom and open plan living areas with the largest surface area glazing have been used. It is assumed there will be one trickle vent per room.
- 8.04 The internal break noise levels have been determined using the BS8233:2014 rigorous calculation:

$$L_{eq,2} = L_{eq,H} + 10 \log_{10} \left(\frac{A_0}{S} 10^{\frac{-D_{ext}}{10}} + \frac{S_{wi}}{S} 10^{\frac{-R_{wi}}{10}} + \frac{S_{gw}}{S} 10^{\frac{-R_{gw}}{10}} + \frac{S_{pr}}{S} 10^{\frac{-R_{pr}}{10}} \right) + 10 \log_{10} \left(\frac{S}{A} \right) + 3 \quad (C)$$

- 8.05 Additional acoustic information for use in the calculation is shown in Appendix D Table 16. The architect has confirmed the wall construction as the following: Timber kit inner leaf separated from inner face of brickwork outer leaf by a continuous 50mm ventilated cavity. Timber panel to comprise Proctor Frameshield 100 breather membrane on 9mm exterior quality OSB sheathing fixed to 140x38mm CLS timber studs at 600mm centres, 140mm PIR insulation between studs. Wall lined internally with Proctors Procheck Premier 500 bonded to 12.5mm plasterboard and overlaid with 15mm Gyproc Fireline board to inside face. The roof construction is as follows: Existing tiles inspected and any replacements securely fixed using galvanised nails on 25x38mm tile battens (or size as recommended by tile manufacturer) on 12x50mm counter battens on Proctor Roofshield vapour permeable roof membrane, or equal and

approved, on 18mm thick butt[1]jointed treated softwood sarking boards (2mm nominal gap between boards). Rolled lead sheet ridge and verges under coping stones to be securely fixed. 190mm PIR insulation to be laid between joists on netlon support. Ceiling to be lined internally with 25mm Reflectatherm Plus bonded to 12.5mm Plasterboard securely fixed to face of rafters and lined with 15mm Gyproc Fireline board.

- 8.06 The surface areas of glazing, façade, ceiling, walls, and floor of the bedroom and open plan living area with the largest glazing surface area has been supplied by the architect.
- 8.07 Based on the measured noise levels at the facades, the dimensions of the rooms, the construction of the buildings, and the acoustic information in Appendix D, the break in noise levels have been determined. To achieve NR15 from amplified music the acoustic window and trickle vent specification required is shown in Table 11. Appendix D Table 17 shows an example of the window and trickle vent used for Façade 5. It is noted that Bedrooms on Facades 5 and 1 contain external doors. The area of the external doors has been included in the calculation as part of the window specification.

Façade/Gable and Room	Floor	Acoustic Window Specification R_w (dB)	Acoustic Trickle Vent Specification $D_{n,e,w}$ (dB)	Acoustic External Door Specification R_w (dB)
Façade 5 Bedroom	Ground	44	48	44
Façade 4 Living Room	Ground & 1st	35	38	N/A
Façade 4 Bedroom	1 st	35	38	N/A
Facade 3 Living Room	Ground & 1st	35	38	N/A
Façade 3 Bedroom	1st	35	38	N/A
Façade 1 Bedroom	Ground	35	38	35
Façade 2 Living Room	Ground & 1st	35	38	N/A
Façade 2 Bedroom	1st	35	38	N/A
Gable 2 Living Room	1 st	35	38	N/A

Table 11 Window, Trickle Vent, and External Door Acoustic Specifications

- 8.08 Gables 3 and 4 do not have any bedrooms or living area windows so have been screened out for assessment purposes. Gable 1 1st floor living area will be subject to elevated levels of road traffic noise and therefore will require separate consideration – see below. Based on the information in Table 11 noise

from fixed plant is predicted to achieve NR25 and noise from road traffic is predicted to achieve the internal Table 1 criterion.

8.09 As the windows and trickle vents already have acoustic specifications, the break in calculations for amplified music has been used for the modelled road traffic noise levels. To do this, the broadband road traffic noise figure at each façade and gable has been applied across the whole 1/1 octave band spectrum and has been unweighted. It is predicted that the internal noise criterion shown in Table 1 will be achieved with the acoustic specification in Table 11 except at Gable 1 where the acoustic specification will need to be upgraded for one 1st floor open plan living area. To achieve the daytime noise criteria shown in Table 1 for this room the acoustic window and trickle vent specification required is shown in Table 12.

Façade/Gable and Room	Floor	Acoustic Window Specification R_{w+ctr} (dB)	Acoustic Trickle Vent specification $D_{n,e,w}$ (dB)
Gable 1 Living Room	1st	38	40

Table 12 Gable 1 Living Room Window and Trickle Vent Acoustic Specification

8.10 The BS4142+A1:2019 assessment and results showed that there is a potential ‘adverse impact’ in the nearest residential external amenity area at façade 5. In addition, the external amenity areas at façade 6 will exceed the outdoor amenity standards in Table 1. To effectively screen noise from the fixed plant and the sports hall a 2.2m high closed boarded fence must be positioned at the top of the site boundary embankment where the existing fence resides. The fence should be at least 10-15kgm² surface density and be positioned hard against the ground and free from any gaps or breaks. The proposed barrier layout is shown in yellow in Figure 6. This is based on a 1.5m high receptor at the geometric centre between the façade and the barrier position.



Figure 6 Position of Proposed Acoustic Barrier

8.11 At this position, the barrier will break the line of sight between receptor and source, and it is assumed this will achieve 10dB attenuation. This would reduce the BS4142+A1:2019 impact descriptor to a ‘low impact’ in the external amenity areas at façade 5. It would also be predicted to reduce the sports hall noise levels to L_{AeqT} 46.6dB at façade 6’s external amenity areas which achieves the external amenity noise criteria shown in Table 1.

8.12 The ‘other noise survey results’ has predicted that NR15 will not be met in ground floor bedrooms on façade 6 from sports hall noise. To achieve a NR15 criterion, mitigation in the form acoustic glazing, acoustic doors, and trickle ventilation will be required. The break in calculations for amplified music has been used for the sports hall noise. To achieve NR15 the acoustic window and trickle vent specification required is shown in Table 13. This specification is also predicted to achieve NR15 from amplified music noise and the road traffic internal noise criterion in Table 1.

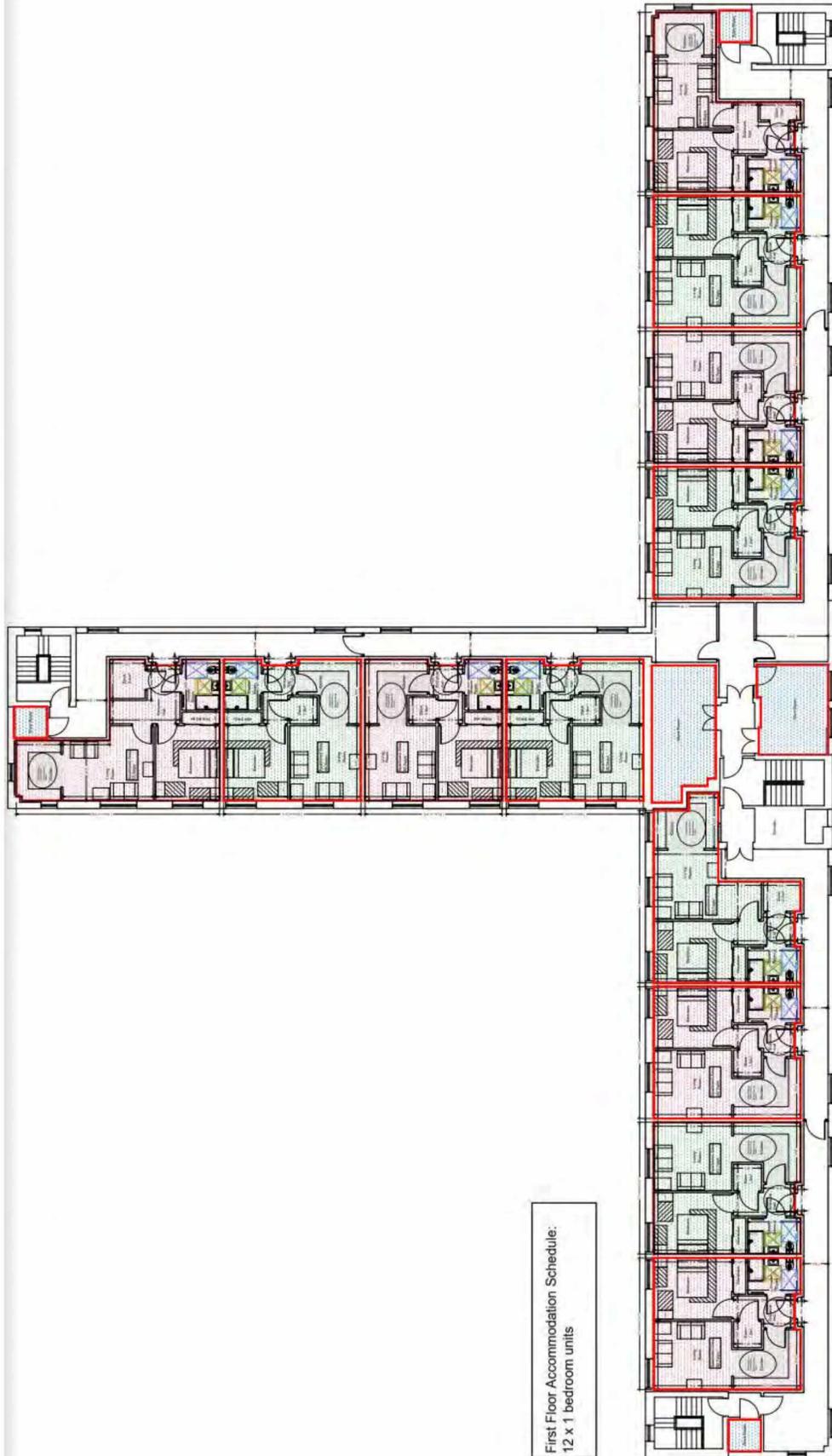
Façade/Gable and Room	Floor	Acoustic Window Specification R_w (dB)	Acoustic Trickle Vent Specification $D_{n,e,w}$ (dB)	Acoustic External Door Specification R_w (dB)
Façade 6 Bedroom	Ground	40	40	40

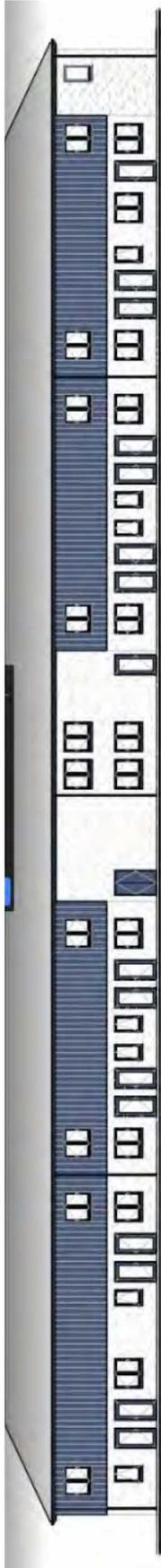
Table 13 Façade 6 Bedrooms Acoustic Window, Trickle Vent, and External Door Specifications

8.13 For ease of reference, Tables 11, 12, and 13 as well as Figure 2 are displayed together in Appendix E.

Conclusion

- 9.01 Couper Acoustics has been hired to carry out a noise impact assessment for a proposed residential development at Banks O Dee Care Home, Abbotswell Rd, Aberdeen AB12 3AB. Measurements of amplified music, recreational sports hall noise, and background noise have been undertaken. Existing road traffic and fixed plant noise data has been utilised. Predictions have been made of these sources at the proposed residential development.
- 9.02 To meet the internal noise level criteria recommendations regarding suitable glazing, trickle ventilation, external doors, and an acoustic barrier have been detailed in the 'Mitigation' section which must be installed. With this mitigation in place the noise criterions detailed in this report are predicted to be achieved.



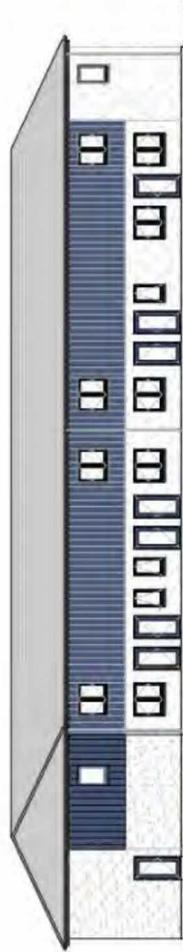


Proposed Northwest Elevation
Scale 1:200 at A3

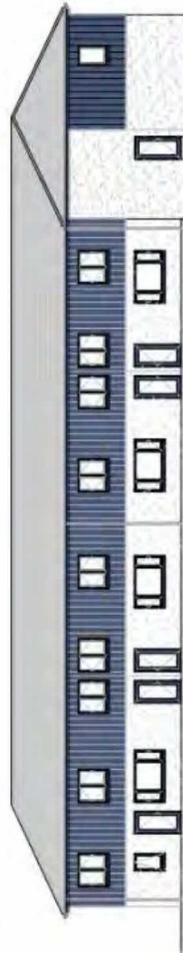


Proposed Southeast Elevation
Scale 1:200 at A3

PROPOSED MATERIALS:
 - WALLS (GROUND FLOOR LEVEL AND CORNER ESCAPE STAIRWELLS) WHITE DRYBRUSH FINISH TO BLOCKWORK.
 - WALLS (FIRST FLOOR LEVEL) ROOF/PANEL COLOURS/F-ATRA 8mm PANELS TO BLOCKWORK (COLOUR RAL 7016)
 - PVC WINDOWS, DOORS AND ROOF FASCIA TRIM (COLOUR RAL 7016).
 - PVC RAINWATER GUTTERS (COLOUR RAL 7016).



Proposed Northeast Elevation
Scale 1:200 at A3



Appendix B Instruments Used and Calibration Certificates

Equipment	Make & Model	Serial Number	Calibration Date
Sound Level Meter	B & K 2250	2506359	6 January 2023
Microphone	B & K 4189	2523684	6 January 2023
Calibrator	B & K 4231	2384975	6 January 2023
Preamp	B & K ZC 0032	20915	6 January 2023

Table 14 Instruments and Equipment Used, Serial Numbers, and Calibration Dates – Sports Centre Monitoring

Equipment	Make & Model	Serial Number	Calibration Date
Sound Level Meter	RION NL-52	01121102	5 April 2023
Microphone	RION UC-59	22499	5 April 2023
Calibrator	RION NC-75	34334831	5 April 2023
Preamp	RION NH25	22398	5 April 2023

Table 15 Instruments and Equipment Used, Serial Numbers, and Calibration Dates – Background Monitoring

CERTIFICATE OF CONFORMANCE

ISSUED BY Gracey & Associates BSI CERTIFICATE FS 25913
DATE OF ISSUE 10 January 2023 CERTIFICATE NUMBER 2023-0149
DATE OF CALIBRATION 06 January 2023
CALIBRATION INTERVAL 12 months PAGE 1 OF 1



Gracey & Associates
Barn Court Shelton Road
Upper Dean PE28 0NQ
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TEST ENGINEER APPROVING SIGNATORY
Jamie Bishop Greg Rice



Equipment **B&K ZC 0032, s/n: 20915**
Description Preamplifier - 1/2" - B&K 2250, Hottinger Bruel & Kjaer UK Ltd
Customer Gracey & Associates

Standards
Manufacturer Specifications

Conditions
Atmospheric Pressure 100.4 kPa
Temperature 21.8°C
Relative Humidity 42.9%

Calibration Reference Sources

Equipment	S/N	Last Cal	Equipment	S/N	Last Cal
Druck DPI 141	479	06-Aug-20	HP 34401	3146A16728	08-Apr-22
Vaisala HMP23	S2430007	03-Aug-20			

Notes

We certify that the above product was duly tested and found to be within the specification at the points measured (except where indicated). Measurements are traceable to reference sources calibrated to National Standards. Where no national or international standards exist, traceability is to standards maintained by the manufacturer. Our Quality Management System has been assessed to comply with BS EN ISO 9001:2015 - BSI Certificate number FS 25913. Tests were carried out in environmental conditions controlled to the extent appropriate to the instrument's specification. All relevant test certificates are available for inspection.

The uncertainties are for a confidence probability of not less than 95%.

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CERTIFICATE OF CALIBRATION

ISSUED BY Gracey & Associates BSI CERTIFICATE FS 25913
DATE OF ISSUE 10 January 2023 CERTIFICATE NUMBER 2023-0137
DATE OF CALIBRATION 06 January 2023
CALIBRATION INTERVAL 12 months PAGE 1 OF 2



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TEST ENGINEER APPROVING SIGNATORY
Jamie Bishop Greg Rice



Equipment **B&K 4189, s/n: 2523684**
Description Microphone - 1/2" FF 0V, Hottinger Bruel & Kjaer UK Ltd
Customer Gracey & Associates

Standards
BS EN 61094

Conditions
Atmospheric Pressure 100.4kPa
Temperature 21.3°C
Relative Humidity 42.8%

Calibration Data

Sensitivity -26.3 dB
48.4 mV/Pa

Calibration Reference Sources

Equipment	S/N	Last Cal	Equipment	S/N	Last Cal
B&K 4134 L	1935995	08-Oct-21	Druck DPI 141	479	06-Aug-20
HP 34401	3146A16728	08-Apr-22	Nor 1253	22456	08-Oct-21
Stanford DS36	33213	17-Aug-20	Vaisala HMP23	S2430007	03-Aug-20

Notes

We certify that the above product was duly tested and found to be within the specification at the points measured (except where indicated). Measurements are traceable to reference sources calibrated to National Standards. Where no national or international standards exist, traceability is to standards maintained by the manufacturer. Our Quality Management System has been assessed to comply with BS EN ISO 9001:2015 - BSI Certificate number FS 25913. Tests were carried out in environmental conditions controlled to the extent appropriate to the instrument's specification. All relevant test certificates are available for inspection. The uncertainties are for a confidence probability of not less than 95%.
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Here and calibration of noise and vibration instruments under a BSI ISO 9001 quality management system, Cert No. FS 25913.

CERTIFICATE OF CALIBRATION

ISSUED BY Gracey & Associates BSI CERTIFICATE FS 25913
DATE OF ISSUE 10 January 2023 CERTIFICATE NUMBER 2023-0111
DATE OF CALIBRATION 06 January 2023
CALIBRATION INTERVAL 12 months PAGE 1 OF 2



Gracey & Associates
Barn Court Shelton Road
Upper Dean PE28 0NQ
Tel: 01234 708835
www.gracey.co.uk

TEST ENGINEER APPROVING SIGNATORY
Jamie Bishop Greg Rice

Equipment **B&K 4231, s/n: 2384975**
Description Calibrator - Acoustic - Class 1, Hottinger Bruel & Kjaer UK Ltd
Customer Gracey & Associates

Standards
BS EN 60942

Conditions
Atmospheric Pressure 100.6kPa
Temperature 21.3°C
Relative Humidity 42.8%

Calibration Data

Output Level 93.9 dB
Frequency 1000.0 Hz

Calibration Reference Sources

Equipment	S/N	Last Cal	Equipment	S/N	Last Cal
B&K 4134 L	1935995	08-Oct-21	Druck DPI 141	479	06-Aug-20
HP 34401	3146A16728	08-Apr-22	Nor 1253	22456	08-Oct-21
Stanford DS36	33213	17-Aug-20	Vaisala HMP23	S2430007	03-Aug-20

Notes

We certify that the above product was duly tested and found to be within the specification at the points measured (except where indicated). Measurements are traceable to reference sources calibrated to National Standards. Where no national or international standards exist, traceability is to standards maintained by the manufacturer. Our Quality Management System has been assessed to comply with BS EN ISO 9001:2015 - BSI Certificate number FS 25913. Tests were carried out in environmental conditions controlled to the extent appropriate to the instrument's specification. All relevant test certificates are available for inspection. The uncertainties are for a confidence probability of not less than 95%.

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CERTIFICATE OF CALIBRATION

ISSUED BY Gracey & Associates BSI CERTIFICATE FS 25913
DATE OF ISSUE 10 January 2023 CERTIFICATE NUMBER 2023-0131
DATE OF CALIBRATION 06 January 2023
CALIBRATION INTERVAL 12 months PAGE 1 OF 1



Gracey & Associates
Barn Court Shelton Road
Upper Dean PE28 0NQ
Tel: 01234 708835
www.gracey.co.uk

TEST ENGINEER APPROVING SIGNATORY
Jamie Bishop Greg Rice

Equipment **B&K 2250 G4A, s/n: 2506359**
Description G4A Sound Level Analyser, Hottinger Bruel & Kjaer UK Ltd
Customer Gracey & Associates

Standards
BS EN 61672-3

Conditions
Atmospheric Pressure 100.4kPa
Temperature 21.3°C
Relative Humidity 42.8%

Calibration Reference Sources

Equipment	S/N	Last Cal	Equipment	S/N	Last Cal
Druck DPI 141	479	06-Aug-20	HP 34401	3146A16728	08-Apr-22
Vaisala HMP23	S2430007	03-Aug-20			

Notes

We certify that the above product was duly tested and found to be within the specification at the points measured (except where indicated). Measurements are traceable to reference sources calibrated to National Standards. Where no national or international standards exist, traceability is to standards maintained by the manufacturer. Our Quality Management System has been assessed to comply with BS EN ISO 9001:2015 - BSI Certificate number FS 25913. Tests were carried out in environmental conditions controlled to the extent appropriate to the instrument's specification. All relevant test certificates are available for inspection. The uncertainties are for a confidence probability of not less than 95%.
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CERTIFICATE OF CALIBRATION



0653

Date of Issue: 05 April 2023

Certificate Number: UCRT23/1477

Calibrated at & Certificate issued by:

ANV Measurement Systems

Beaufort Court

17 Roebuck Way

Milton Keynes MK5 8HL

Telephone 01908 642846 Fax 01908 642814

E-Mail: info@noise-and-vibration.co.uk

Web: www.noise-and-vibration.co.uk

Acoustics Noise and Vibration Ltd trading as ANV Measurement Systems

Page 1 of 2 Pages	
Approved Signatory	
K. Mistry	

Customer



Order No.

Test Procedure Procedure TP 14 Calibration of Sound Calibrators (60942:2017)

Description Acoustic Calibrator

Identification	Manufacturer	Instrument	Model	Serial No.
	Rion	Calibrator	NC-75	34334831
Public evidence of Type Approval	Yes	Approved by	PTB	

The calibrator has been tested as specified in Annex B of IEC 60942:2017. As public evidence was available, from a testing organisation responsible for approving the results of pattern evaluation tests, to demonstrate that the model of sound calibrator fully conformed to the requirements for pattern evaluation described in Annex A of IEC 60942:2017, the sound calibrator tested is considered to conform to all the class 1 requirements of IEC 60942:2017

ANV Job No. UKAS23/04250

Date Received 04 April 2023

Date Calibrated 05 April 2023

Previous Certificate Dated Initial Calibration
Certificate No.
Laboratory

This certificate is issued in accordance with the laboratory accreditation requirements of the United Kingdom Accreditation Service. It provides traceability of measurement to the SI system of units and/or to units of measurement realised at the National Physical Laboratory or other recognised national metrology institutes. This certificate may not be reproduced other than in full, except with the prior written approval of the issuing laboratory.

CERTIFICATE OF CALIBRATION	Certificate Number
	UCRT23/1477
UKAS Accredited Calibration Laboratory No. 0653	Page 2 of 2 Pages

Measurements

The sound pressure level generated by the calibrator (averaged over a 20 to 25 second period) in its WS2 configuration was measured five times (rotating the calibrator on the microphone each time) by the Insert Voltage Method using a microphone as detailed below. The mean of the results obtained is shown below.

The frequency of the sound from the calibrator was measured five times over a 20 to 25 second period and the average frequency calculated.

The total distortion + noise of the sound from the calibrator was measured, using a rejection filter distortion factor meter, five times over a 20 to 25 second period and the average distortion + noise calculated.

Test Microphone	Manufacturer	Type
	Brüel & Kjær	4134

<u>Nominal Setting dB / Hz</u>	<u>Mean Level dB rel 20 µPa</u>	<u>Frequency</u>	<u>Distortion + Noise</u>
94 / 1000	94.00 ± 0.10	1000.00 ± 0.12Hz	(0.14 ± 0.03) %

<u>Environmental conditions during tests</u>	<u>Start</u>	<u>End</u>	
Temperature	22.64	22.43	± 0.30 °C
Humidity	37.1	37.5	± 3.0 %RH
Ambient Pressure	101.068	101.072	± 0.030 kPa

The reported expanded uncertainty is based on a standard uncertainty multiplied by a coverage factor k=2, providing a coverage probability of approximately 95%. The uncertainty evaluation has been carried out in accordance with UKAS requirements.

The uncertainties refer to the measured values only with no account being taken of the ability of the instrument to maintain its calibration.

A small correction factor may need to be applied to the sound pressure level quoted above if the device is used to calibrate a sound level meter which is fitted with a free-field response microphone. See manufacturers handbook for details.

Note: Calibrator adjusted prior to calibration? NO

Additional Comments The results on this certificate only relate to the items calibrated as identified above.
None

Calibrated by: K. Zablocki

R 1

END

CERTIFICATE OF CALIBRATION	Certificate Number UCRT23/1479
	Page 2 of 2 Pages

UKAS Accredited Calibration Laboratory No. 0653

Sound Level Meter instruction manual and data used to adjust the sound levels indicated.

SLM instruction manual title NL-52/NL-42 Description for IEC 61672-1			
SLM instruction manual ref / issue No. 56034 21-03		Source Rion	
Date provided or internet download date 19 March 2021			
	Case Corrections	Wind Shield Corrections	Mic Pressure to Free Field Corrections
Uncertainties provided	Yes	Yes	Yes
Total expanded uncertainties within the requirements of IEC 61672-1:2013			YES
Specified or equivalent Calibrator Specified			
Customer or Lab Calibrator		Lab Calibrator	
Calibrator adaptor type if applicable		NC-74-002	
Calibrator cal. date		23 March 2023	
Calibrator cert. number		UCRT23/1384	
Calibrator cal cert issued by Lab 0653			
Calibrator SPL @ STP		94.04	dB Calibration reference sound pressure level
Calibrator frequency		1001.98	Hz Calibration check frequency
Reference level range		Single dB	
Accessories used or corrected for during calibration - Wind Shield WS-10			

Environmental conditions during tests	Start	End	
Temperature	22.09	22.26	+ 0.30 °C
Humidity	39.8	41.7	± 3.00 %RH
Ambient Pressure	101.07	101.04	± 0.03 kPa

Indication at the Calibration Check Frequency			
Initial indicated level	94.0	dB	Adjusted indicated level 94.0 dB
Uncertainty of calibrator used for Indication at the Calibration Check Frequency ±			0.10 dB
Self Generated Noise			
Microphone installed -	Less Than	19.5	dB A Weighting
Microphone replaced with electrical input device - UR = Under Range indicated			
Weighting	A	C	Z
	0.9	11.6	10.7
	dB	dB	dB
	UR	UR	UR

Self Generated Noise reported for information only and not used to assess conformance to a requirement

The reported expanded uncertainty is based on a standard uncertainty multiplied by a coverage factor $k=2$, providing a coverage probability of approximately 95%. The uncertainty evaluation has been carried out in accordance with UKAS requirements.

Additional Comments The results on this certificate only relate to the items calibrated as identified above.

None

Calibrated by: BB/KZ

END

R 1



CERTIFICATE OF CALIBRATION



0653

Date of Issue: 05 April 2023

Certificate Number: UCRT23/1479

Calibrated at & Certificate issued by:
ANV Measurement Systems
Beaufort Court
17 Roebuck Way
Milton Keynes, MK5 8HL
Telephone 01908 642848 Fax 01908 642814
E-Mail: info@noise-and-vibration.co.uk
Web: www.noise-and-vibration.co.uk
Acoustics Noise and Vibration Ltd trading as ANV Measurement Systems

Page 1 of 2 Pages	
Approved Signatory	[Redacted]
K. Mistry	[Redacted]

Customer
[Redacted]

Order No.

Description Identification	Sound Level Meter / Pre-amp / Microphone / Associated Calibrator			
	Manufacturer	Instrument	Type	Serial No. / Version
	Rion	Sound Level Meter	NL-52	01121102
	Rion	Firmware		2.1
	Rion	Pre Amplifier	NH-25	22398
	Rion	Microphone	UC-59	22499
	Rion	Calibrator	NC-74	34536109
		Calibrator adaptor type if applicable		NC-74-002

Performance Class 1

Test Procedure TP 10. SLM 61672-3:2013
Procedures from IEC 61672-3:2013 were used to perform the periodic tests.

Type Approved to IEC 61672-1:2013 Yes
If YES above there is public evidence that the SLM has successfully completed the applicable pattern evaluation tests of IEC 61672-2:2013

Date Received 04 April 2023 ANV Job No. UKAS23/04250
Date Calibrated 05 April 2023

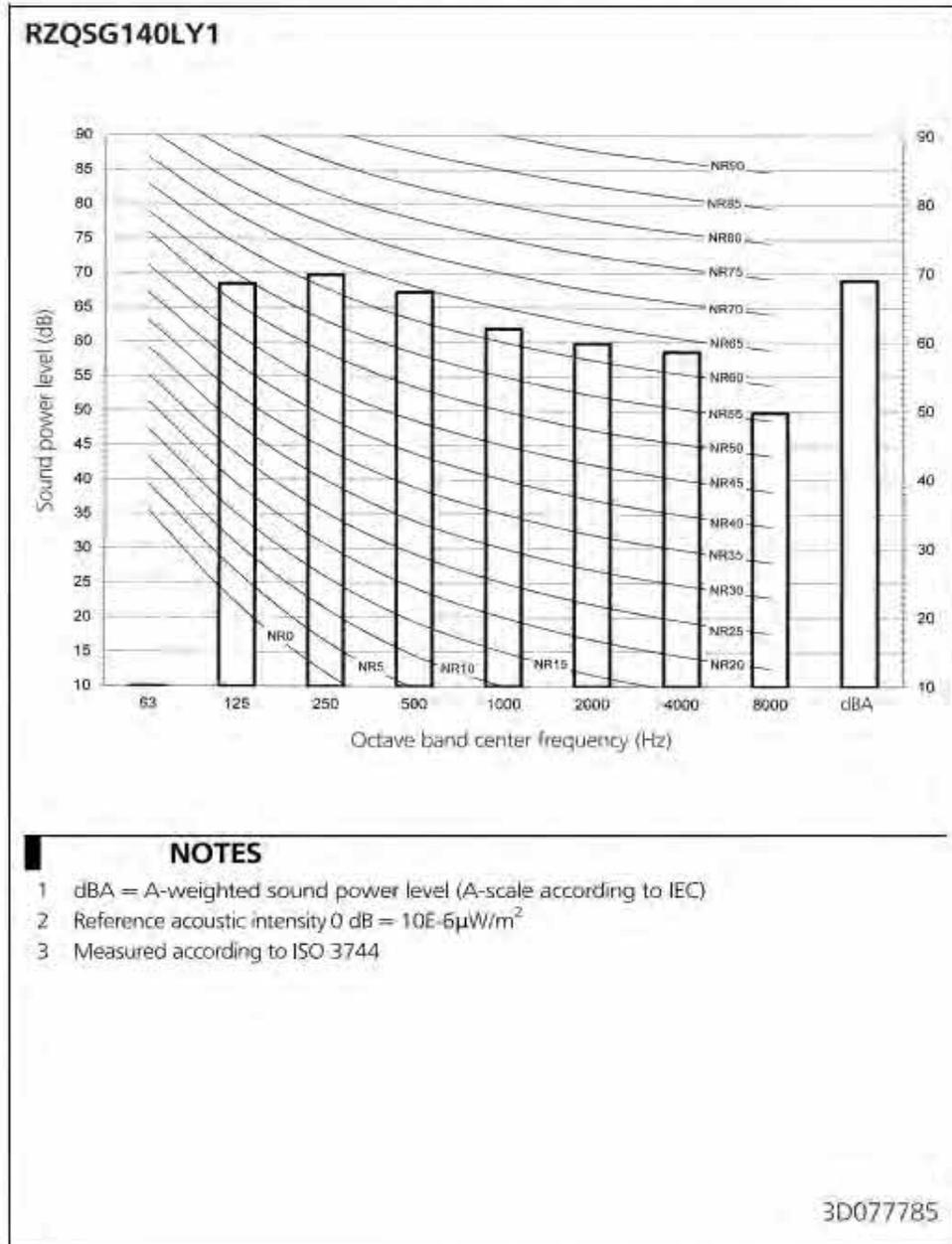
The sound level meter submitted for testing has successfully completed the periodic tests of IEC 61672-3:2013, for the environmental conditions under which the tests were performed. As evidence was publicly available, from an independent testing organisation responsible for approving the results of pattern-evaluation tests performed in accordance with IEC 61672-2:2013, to demonstrate that the model of sound level meter fully conformed to the class 1 specifications in IEC 61672-1:2013, the sound level meter submitted for testing conforms to the class 1 specifications of IEC 61672-1:2013.

Previous Certificate	Dated	Certificate No.	Laboratory
	Initial Calibration		

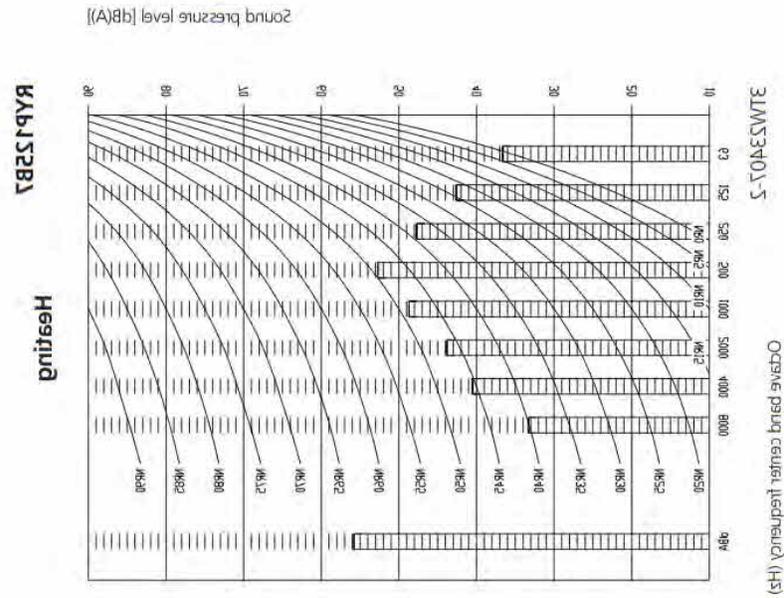
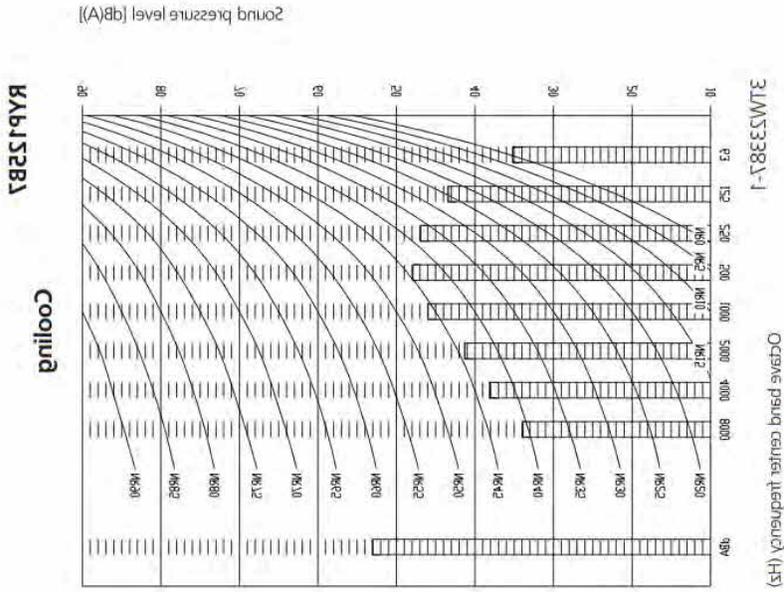
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11 Sound data

11 - 1 Sound Power Spectrum

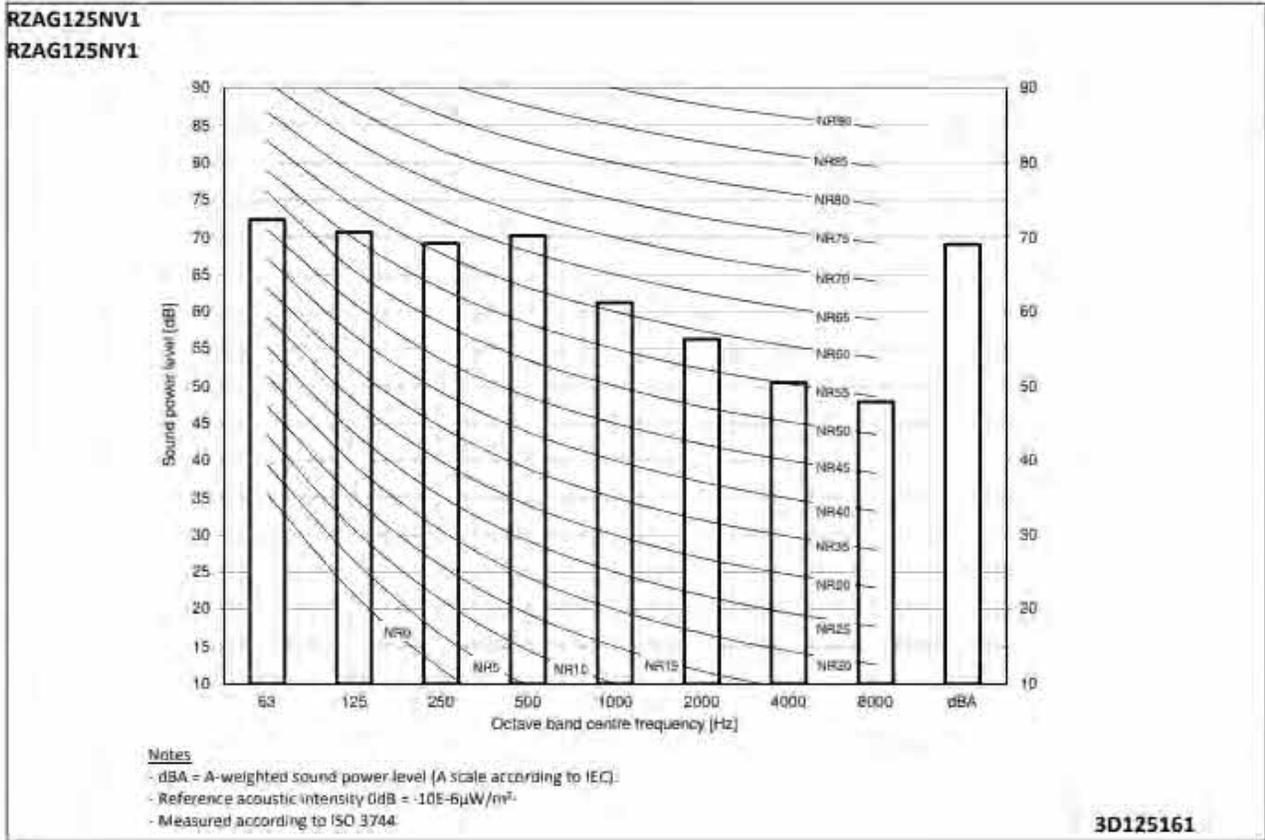


RYP125B7W1 - Cooling



11 Sound data

11-1 Sound Power Spectrum



Appendix D Information for BS8233:2014 Rigorous Calculation

Values	Source	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz
R _{ew} External Wall SRI Values	Architect Specification and INSUL	30	45	50	56	64	67	68	68*
R _{rr} Roof SRI Values	Architect Specification and INSUL	28	43	51	57	62	62	62	62*
Absorbent Coefficient Plastered Walls/Ceiling	Woods Practical Guide to Noise Control	0.25	0.3	0.2	0.15	0.05	0.05	0.05	0.05
Absorbent Coefficient Flooring Carpeted	Woods Practical Guide to Noise Control	0.05	0.05	0.1	0.3	0.5	0.65	0.7	0.65
Absorbent Coefficient Windows	Woods Practical Guide to Noise Control	0.08	0.15	0.06	0.04	0.03	0.02	0.02	0.02
*8KHz Figures not available so assumed to be same value as 4KHz figures									

Table 16 Information Used in Detailed Break in Calculation

Values	Source	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz
D _{ne} Trickle Vent Values	Titan V75/C75 Acoustic Vent	37*	37	37	36.1	46.9	49.2	55.2	61.3
SRI Acoustic Glazing	Saint Gobain Acoustic Calculator STADIP SILENCE Double STADIP SILENCE 12.8 16 STADIP SILENCE 8.8	31	30	35	46	54	55	63	63
*63Hz Trickle Vent D _{ne} value not available so assumed to be same value as 125Hz value									

Table 17 Example of Acoustic Glazing and Trickle Vents Figures/Sources Information for Façade 5 Bedroom

Appendix E Mitigation at Building

Façade/Gable and Room	Floor	Acoustic Window Specification R_w (dB)	Acoustic Window Specification R_{w+ctr} (dB)	Acoustic Trickle Vent Specification $D_{n,e,w}$ (dB)	Acoustic External Door Specification R_w (dB)
Façade 5 Bedroom	Ground	44	N/A	48	44
Façade 4 Living Room	Ground & 1st	35	N/A	38	N/A
Façade 4 Bedroom	1 st	35	N/A	38	N/A
Façade 3 Living Room	Ground & 1st	35	N/A	38	N/A
Façade 3 Bedroom	1st	35	N/A	38	N/A
Façade 1 Bedroom	Ground	35	N/A	38	35
Façade 2 Living Room	Ground & 1st	35	N/A	38	N/A
Façade 2 Bedroom	1st	35	N/A	38	N/A
Gable 2 Living Room	1 st	35	N/A	38	N/A
Gable 1 Living Room	1 st	N/A	38	40	N/A
Façade 6 Bedroom	Ground	40	N/A	40	40



Appendix 5: NPF4 and ALDP Policy Extracts

NPF4:

Policy 1: Tackling the climate and nature crises

Policy Intent:

To encourage, promote and facilitate development that addresses the global climate emergency and nature crisis.

Policy Outcomes:

Zero carbon, nature positive places

Policy:

When considering all development proposals significant weight will be given to the global climate and nature crises.

Policy 2: Climate mitigation and adaptation

Policy Intent:

To encourage, promote and facilitate development that minimises emissions and adapts to the current and future impacts of climate change.

Policy Outcomes:

Emissions from development are minimised; and
Our places are more resilient to climate change impacts.

Policy:

- a) Development proposals will be sited and designed to minimise lifecycle greenhouse gas emissions as far as possible.
- b) Development proposals will be sited and designed to adapt to current and future risks from climate change.
- c) Development proposals to retrofit measures to existing developments that reduce emissions or support adaptation to climate change will be supported.

Policy 3: Biodiversity

Policy Intent:

To protect biodiversity, reverse biodiversity loss, deliver positive effects from development and strengthen nature networks.

Policy Outcomes:

Biodiversity is enhanced and better connected including through strengthened nature networks and nature-based solutions.

Policy:

- a) Development proposals will contribute to the enhancement of biodiversity, including where relevant, restoring degraded habitats and building and strengthening nature networks and the connections between them. Proposals should also integrate nature-based solutions, where possible.
- b) Development proposals for national or major development, or for development that requires an Environmental Impact Assessment will only be supported where it can be demonstrated that the proposal will conserve, restore and enhance biodiversity, including nature networks so they are in a demonstrably better state than without intervention. This will include future

management. To inform this, best practice assessment methods should be used. Proposals within these categories will demonstrate how they have met all of the following criteria:

- i. The proposal is based on an understanding of the existing characteristics of the site and its local, regional and national ecological context prior to development, including the presence of any irreplaceable habitats;
 - ii. Wherever feasible, nature-based solutions have been integrated and made best use of;
 - iii. An assessment of potential negative effects which should be fully mitigated in line with the mitigation hierarchy prior to identifying enhancements;
 - iv. Significant biodiversity enhancements are provided, in addition to any proposed mitigation. This should include nature networks, linking to and strengthening habitat connectivity within and beyond the development, secured within a reasonable timescale and with reasonable certainty. Management arrangements for their long term retention and monitoring should be included, wherever appropriate; and
 - v. Local community benefits of the biodiversity and/or nature networks have been considered.
- c) Proposals for local development will include appropriate measures to conserve, restore and enhance biodiversity, in accordance with national and local guidance. Measures should be proportionate to the nature and scale of development. Applications for individual householder development, or which fall within scope of (b) above, are excluded from this requirement.
- d) Any potential adverse impacts, including cumulative impacts, of development proposals on biodiversity, nature networks and the natural environment will be minimised through careful planning and design. This will take into account the need to reverse biodiversity loss, safeguard the ecosystem services that the natural environment provides, and build resilience by enhancing nature networks and maximising the potential for restoration.

Policy 9: Brownfield, vacant and derelict land and empty buildings

Policy Intent:

To encourage, promote and facilitate the reuse of brownfield, vacant and derelict land and empty buildings, and to help reduce the need for greenfield development.

Policy Outcomes:

Development is directed to the right locations, maximising the use of existing assets and minimising additional land take.

The contribution of brownfield land to nature recovery is recognised and opportunities for use as productive greenspace are realised where appropriate.

Derelict buildings and spaces are regenerated to improve wellbeing and transform our places

Policy:

- a) Development proposals that will result in the sustainable reuse of brownfield land including vacant and derelict land and buildings, whether permanent or temporary, will be supported. In determining whether the reuse is sustainable, the biodiversity value of brownfield land which has naturalised should be taken into account.
- b) Proposals on greenfield sites will not be supported unless the site has been allocated for development or the proposal is explicitly supported by policies in the LDP.
- c) Where land is known or suspected to be unstable or contaminated, development proposals will demonstrate that the land is, or can be made, safe and suitable for the proposed new use.

- d) Development proposals for the reuse of existing buildings will be supported, taking into account their suitability for conversion to other uses. Given the need to conserve embodied energy, demolition will be regarded as the least preferred option.

Policy 12: Zero waste

Policy Intent:

To encourage, promote and facilitate development that is consistent with the waste hierarchy.

Policy Outcomes:

The reduction and reuse of materials in construction is prioritised.
Infrastructure for zero waste and to develop Scotland's circular economy is delivered in appropriate locations.

Policy:

- a) Development proposals will seek to reduce, reuse, or recycle materials in line with the waste hierarchy.
- b) Development proposals will be supported where they:
 - i. reuse existing buildings and infrastructure;
 - ii. minimise demolition and salvage materials for reuse;
 - iii. minimise waste, reduce pressure on virgin resources and enable building materials, components and products to be disassembled, and reused at the end of their useful life;
 - iv. use materials with the lowest forms of embodied emissions, such as recycled and natural construction materials;
 - v. use materials that are suitable for reuse with minimal reprocessing.
- c) Development proposals that are likely to generate waste when operational, including residential, commercial, and industrial properties, will set out how much waste the proposal is expected to generate and how it will be managed including:
 - i. provision to maximise waste reduction and waste separation at source, and
 - ii. measures to minimise the cross contamination of materials, through appropriate segregation and storage of waste; convenient access for the collection of waste; and recycling and localised waste management facilities.
- d) Development proposals for waste infrastructure and facilities (except landfill and energy from waste facilities) will be only supported where:
 - i. there are no unacceptable impacts (including cumulative) on the residential amenity of nearby dwellings, local communities; the transport network; and natural and historic environment assets;
 - ii. environmental (including cumulative) impacts relating to noise, dust, smells, pest control and pollution of land, air and water are acceptable;
 - iii. any greenhouse gas emissions resulting from the processing and transportation of waste to and from the facility are minimised;
 - iv. an adequate buffer zone between sites and sensitive uses such as homes is provided taking account of the various environmental effects likely to arise;
 - v. a restoration and aftercare scheme (including appropriate financial mechanisms) is provided and agreed to ensure the site is restored; vi. consideration has been given to co-location with end users of outputs.
- e) Development proposals for new or extended landfill sites will only be supported if:
 - i. there is demonstrable need for additional landfill capacity taking into account Scottish Government objectives on waste management; and
 - ii. waste heat and/or electricity generation is included. Where this is considered impractical, evidence and justification will require to be provided.
- f) Proposals for the capture, distribution or use of gases captured from landfill sites or waste water treatment plant will be supported.

- g) Development proposals for energy-from-waste facilities will not be supported except under limited circumstances where a national or local need has been sufficiently demonstrated (e.g. in terms of capacity need or carbon benefits) as part of a strategic approach to residual waste management and where the proposal:
- i. is consistent with climate change mitigation targets and in line with circular economy principles;
 - ii. can demonstrate that a functional heat network can be created and provided within the site for appropriate infrastructure to allow a heat network to be developed and potential local consumers have been identified;
 - iii. is supported by a heat and power plan, which demonstrates how energy recovered from the development would be used to provide electricity and heat and where consideration is given to methods to reduce carbon emissions of the facility (for example through carbon capture and storage)
 - iv. complies with relevant guidelines published by Scottish Environment Protection Agency (SEPA); and
 - v. has supplied an acceptable decarbonisation strategy aligned with Scottish Government decarbonisation goals.

Policy 13: Sustainable transport

Policy Intent:

To encourage, promote and facilitate developments that prioritise walking, wheeling, cycling and public transport for everyday travel and reduce the need to travel unsustainably.

Policy Outcomes:

Investment in transport infrastructure supports connectivity and reflects place-based approaches and local living.

More, better, safer and more inclusive active and sustainable travel opportunities.

Developments are in locations which support sustainable travel.

Policy:

- a) Proposals to improve, enhance or provide active travel infrastructure, public transport infrastructure or multi-modal hubs will be supported. This includes proposals:
- i. for electric vehicle charging infrastructure and electric vehicle forecourts, especially where fuelled by renewable energy.
 - ii. which support a mode shift of freight from road to more sustainable modes, including last-mile delivery.
 - iii. that build in resilience to the effects of climate change and where appropriate incorporate blue and green infrastructure and nature rich habitats (such as natural planting or water systems).
- b) Development proposals will be supported where it can be demonstrated that the transport requirements generated have been considered in line with the sustainable travel and investment hierarchies and where appropriate they:
- i. Provide direct, easy, segregated and safe links to local facilities via walking, wheeling and cycling networks before occupation;
 - ii. Will be accessible by public transport, ideally supporting the use of existing services;
 - iii. Integrate transport modes;
 - iv. Provide low or zero-emission vehicle and cycle charging points in safe and convenient locations, in alignment with building standards;
 - v. Supply safe, secure and convenient cycle parking to meet the needs of users and which is more conveniently located than car parking;
 - vi. Are designed to incorporate safety measures including safe crossings for walking and wheeling and reducing the number and speed of vehicles;

- vii. Have taken into account, at the earliest stage of design, the transport needs of diverse groups including users with protected characteristics to ensure the safety, ease and needs of all users; and
 - viii. Adequately mitigate any impact on local public access routes.
- c) Where a development proposal will generate a significant increase in the number of person trips, a transport assessment will be required to be undertaken in accordance with the relevant guidance.
- d) Development proposals for significant travel generating uses will not be supported in locations which would increase reliance on the private car, taking into account the specific characteristics of the area.
- e) Development proposals which are ambitious in terms of low/no car parking will be supported, particularly in urban locations that are well-served by sustainable transport modes and where they do not create barriers to access by disabled people.
- f) Development proposals for significant travel generating uses, or smaller-scale developments where it is important to monitor travel patterns resulting from the development, will only be supported if they are accompanied by a Travel Plan with supporting planning conditions/obligations. Travel plans should set out clear arrangements for delivering against targets, as well as monitoring and evaluation.
- g) Development proposals that have the potential to affect the operation and safety of the Strategic Transport Network will be fully assessed to determine their impact. Where it has been demonstrated that existing infrastructure does not have the capacity to accommodate a development without adverse impacts on safety or unacceptable impacts on operational performance, the cost of the mitigation measures required to ensure the continued safe and effective operation of the network should be met by the developer. While new junctions on trunk roads are not normally acceptable, the case for a new junction will be considered by Transport Scotland where significant economic or regeneration benefits can be demonstrated. New junctions will only be considered if they are designed in accordance with relevant guidance and where there will be no adverse impact on road safety or operational performance.

Policy 14: Design, quality and place

Policy Intent:

To encourage, promote and facilitate well designed development that makes successful places by taking a design-led approach and applying the Place Principle.

Policy Outcomes:

Quality places, spaces and environments.

Places that consistently deliver healthy, pleasant, distinctive, connected, sustainable and adaptable qualities.

Policy:

- a) Development proposals will be designed to improve the quality of an area whether in urban or rural locations and regardless of scale.
- b) Development proposals will be supported where they are consistent with the six qualities of successful places:

Healthy: Supporting the prioritisation of women's safety and improving physical and mental health.

Pleasant: Supporting attractive natural and built spaces.

Connected: Supporting well connected networks that make moving around easy and reduce car dependency

Distinctive: Supporting attention to detail of local architectural styles and natural landscapes to be interpreted, literally or creatively, into designs to reinforce identity

Sustainable: Supporting the efficient use of resources that will allow people to live, play, work and stay in their area, ensuring climate resilience, and integrating nature positive, biodiversity solutions.

Adaptable: Supporting commitment to investing in the long-term value of buildings, streets and spaces by allowing for flexibility so that they can be changed quickly to accommodate different uses as well as maintained over time.

Further details on delivering the six qualities of successful places are set out in Annex D.

- c) Development proposals that are poorly designed, detrimental to the amenity of the surrounding area or inconsistent with the six qualities of successful places, will not be supported.

Policy 15: Local Living and 20 minute neighbourhoods

Policy Intent:

To encourage, promote and facilitate the application of the Place Principle and create connected and compact neighbourhoods where people can meet the majority of their daily needs within a reasonable distance of their home, preferably by walking, wheeling or cycling or using sustainable transport options.

Policy Outcomes:

Places are planned to improve local living in a way that reflects local circumstances. A network of high-quality, accessible, mixed-use neighbourhoods which support health and wellbeing, reduce inequalities and are resilient to the effects of climate change. New and existing communities are planned together with homes and the key local infrastructure including schools, community centres, local shops, greenspaces, health and social care, digital and sustainable transport links.

Policy:

- a) Development proposals will contribute to local living including, where relevant, 20 minute neighbourhoods. To establish this, consideration will be given to existing settlement pattern, and the level and quality of interconnectivity of the proposed development with the surrounding area, including local access to:
 - sustainable modes of transport including local public transport and safe, high quality walking, wheeling and cycling networks;
 - employment;
 - shopping;
 - health and social care facilities;
 - childcare, schools and lifelong learning opportunities;
 - playgrounds and informal play opportunities, parks, green streets and spaces, community gardens, opportunities for food growth and allotments, sport and recreation facilities;
 - publicly accessible toilets;
 - affordable and accessible housing options, ability to age in place and housing diversity.

Policy 16: Quality homes

Policy Intent:

To encourage, promote and facilitate the delivery of more high quality, affordable and sustainable homes, in the right locations, providing choice across tenures that meet the diverse housing needs of people and communities across Scotland.

Policy Outcomes:

Good quality homes are at the heart of great places and contribute to strengthening the health and wellbeing of communities.

Provision of land in the right locations to accommodate future need and demand for new homes, supported by the appropriate infrastructure.

More energy efficient, net zero emissions homes, supporting a greener, fairer and more inclusive wellbeing economy and community wealth building, tackling both fuel and child poverty

Policy:

- a) Development proposals for new homes on land allocated for housing in LDPs will be supported.
- b) Development proposals that include 50 or more homes, and smaller developments if required by local policy or guidance, should be accompanied by a Statement of Community Benefit. The statement will explain the contribution of the proposed development to:
 - i. meeting local housing requirements, including affordable homes;
 - ii. providing or enhancing local infrastructure, facilities and services; and
 - iii. improving the residential amenity of the surrounding area.
- c) Development proposals for new homes that improve affordability and choice by being adaptable to changing and diverse needs, and which address identified gaps in provision, will be supported. This could include:
 - i. self-provided homes;
 - ii. accessible, adaptable and wheelchair accessible homes;
 - iii. build to rent;
 - iv. affordable homes;
 - v. a range of size of homes such as those for larger families;
 - vi. homes for older people, including supported accommodation, care homes and sheltered housing;
 - vii. homes for people undertaking further and higher education; and
 - viii. homes for other specialist groups such as service personnel.
- d) Development proposals for public or private, permanent or temporary, Gypsy/Travellers sites and family yards and Travelling Showpeople yards, including on land not specifically allocated for this use in the LDP, should be supported where a need is identified and the proposal is otherwise consistent with the plan spatial strategy and other relevant policies, including human rights and equality.
- e) Development proposals for new homes will be supported where they make provision for affordable homes to meet an identified need. Proposals for market homes will only be supported where the contribution to the provision of affordable homes on a site will be at least 25% of the total number of homes, unless the LDP sets out locations or circumstances where:
 - i. a higher contribution is justified by evidence of need, or
 - ii. a lower contribution is justified, for example, by evidence of impact on viability, where proposals are small in scale, or to incentivise particular types of homes that are needed to diversify the supply, such as self-build or wheelchair accessible homes. The contribution is to be provided in accordance with local policy or guidance.
- f) Development proposals for new homes on land not allocated for housing in the LDP will only be supported in limited circumstances where:
 - i. the proposal is supported by an agreed timescale for build-out; and
 - ii. the proposal is otherwise consistent with the plan spatial strategy and other relevant policies including local living and 20 minute neighbourhoods;
 - iii. and either:
 - delivery of sites is happening earlier than identified in the deliverable housing land pipeline. This will be determined by reference to two consecutive years of the Housing Land Audit evidencing substantial

- delivery earlier than pipeline timescales and that general trend being sustained; or
 - the proposal is consistent with policy on rural homes; or
 - the proposal is for smaller scale opportunities within an existing settlement boundary; or
 - the proposal is for the delivery of less than 50 affordable homes as part of a local authority supported affordable housing plan.
- g) Householder development proposals will be supported where they:
- i. do not have a detrimental impact on the character or environmental quality of the home and the surrounding area in terms of size, design and materials; and
 - ii. do not have a detrimental effect on the neighbouring properties in terms of physical impact, overshadowing or overlooking.
- h) Householder development proposals that provide adaptations in response to risks from a changing climate, or relating to people with health conditions that lead to particular accommodation needs will be supported.

Policy 18: Infrastructure first

Policy Intent:

To encourage, promote and facilitate an infrastructure first approach to land use planning, which puts infrastructure considerations at the heart of placemaking.

Policy Outcomes:

Infrastructure considerations are integral to development planning and decision making and potential impacts on infrastructure and infrastructure needs are understood early in the development planning process as part of an evidenced based approach.

Existing infrastructure assets are used sustainably, prioritising low-carbon solutions.

Infrastructure requirements, and their planned delivery to meet the needs of communities, are clear.

Policy:

- a) Development proposals which provide (or contribute to) infrastructure in line with that identified as necessary in LDPs and their delivery programmes will be supported.
- b) The impacts of development proposals on infrastructure should be mitigated. Development proposals will only be supported where it can be demonstrated that provision is made to address the impacts on infrastructure. Where planning conditions, planning obligations, or other legal agreements are to be used, the relevant tests will apply.

Where planning obligations are entered into, they should meet the following tests:

- be necessary to make the proposed development acceptable in planning terms
- serve a planning purpose
- relate to the impacts of the proposed development
- fairly and reasonably relate in scale and kind to the proposed development
- be reasonable in all other respects

Planning conditions should only be imposed where they meet all of the following tests. They should be:

- necessary
- relevant to planning
- relevant to the development to be permitted
- enforceable
- precise
- reasonable in all other respect

Policy 20: Blue and green infrastructure

Policy Intent:

To protect and enhance blue and green infrastructure and their networks.

Policy Outcomes:

Blue and green infrastructure are an integral part of early design and development processes; are designed to deliver multiple functions including climate mitigation, nature restoration, biodiversity enhancement, flood prevention and water management.

Communities benefit from accessible, high quality blue, green and civic spaces.

Policy:

- a) Development proposals that result in fragmentation or net loss of existing blue and green infrastructure will only be supported where it can be demonstrated that the proposal would not result in or exacerbate a deficit in blue or green infrastructure provision, and the overall integrity of the network will be maintained. The planning authority's Open Space Strategy should inform this.
- b) Development proposals for or incorporating new or enhanced blue and/or green infrastructure will be supported. Where appropriate, this will be an integral element of the design that responds to local circumstances. Design will take account of existing provision, new requirements and network connections (identified in relevant strategies such as the Open Space Strategies) to ensure the proposed blue and/or green infrastructure is of an appropriate type(s), quantity, quality and accessibility and is designed to be multi functional and well integrated into the overall proposals.
- c) Development proposals in regional and country parks will only be supported where they are compatible with the uses, natural habitats, and character of the park.
- d) Development proposals for temporary open space or green space on unused or under used land will be supported.
- e) Development proposals that include new or enhanced blue and/or green infrastructure will provide effective management and maintenance plans covering the funding arrangements for their long-term delivery and upkeep, and the party or parties responsible for these.

Policy 22: Flood risk and water management

Policy Intent:

To strengthen resilience to flood risk by promoting avoidance as a first principle and reducing the vulnerability of existing and future development to flooding.

Policy Outcomes:

Places are resilient to current and future flood risk.

Water resources are used efficiently and sustainably.

Wider use of natural flood risk management benefits people and nature.

Policy:

- a) Development proposals at risk of flooding or in a flood risk area will only be supported if they are for:
 - i. essential infrastructure where the location is required for operational reasons;
 - ii. water compatible uses;
 - iii. redevelopment of an existing building or site for an equal or less vulnerable use;or.
 - iv. redevelopment of previously used sites in built up areas where the LDP has identified a need to bring these into positive use and where proposals demonstrate that long term safety and resilience can be secured in accordance with relevant SEPA advice.

The protection offered by an existing formal flood protection scheme or one under construction can be taken into account when determining flood risk.

In such cases, it will be demonstrated by the applicant that:

- all risks of flooding are understood and addressed;
- there is no reduction in floodplain capacity, increased risk for others, or a need for future flood protection schemes;
- the development remains safe and operational during floods;
- flood resistant and resilient materials and construction methods are used; and
- future adaptations can be made to accommodate the effects of climate change.

Additionally, for development proposals meeting criteria part iv), where flood risk is managed at the site rather than avoided these will also require:

- the first occupied/utilised floor, and the underside of the development if relevant, to be above the flood risk level and have an additional allowance for freeboard; and
 - that the proposal does not create an island of development and that safe access/ egress can be achieved.
- b) Small scale extensions and alterations to existing buildings will only be supported where they will not significantly increase flood risk.
- c) Development proposals will:
- i. not increase the risk of surface water flooding to others, or itself be at risk.
 - ii. manage all rain and surface water through sustainable urban drainage systems (SUDS), which should form part of and integrate with proposed and existing blue green infrastructure. All proposals should presume no surface water connection to the combined sewer;
 - iii. seek to minimise the area of impermeable surface.
- d) Development proposals will be supported if they can be connected to the public water mains. If connection is not feasible, the applicant will need to demonstrate that water for drinking water purposes will be sourced from a sustainable water source that is resilient to periods of water scarcity.
- e) Development proposals which create, expand or enhance opportunities for natural flood risk management, including blue and green infrastructure, will be supported.

Policy 23: Health and safety

Policy Intent:

To protect people and places from environmental harm, mitigate risks arising from safety hazards and encourage, promote and facilitate development that improves health and wellbeing.

Policy Outcomes:

Health is improved and health inequalities are reduced.
Safe places protect human health and the environment.
A planned approach supports health infrastructure delivery.

Policy:

- a) Development proposals that will have positive effects on health will be supported. This could include, for example, proposals that incorporate opportunities for exercise, community food growing or allotments.
- b) Development proposals which are likely to have a significant adverse effect on health will not be supported. A Health Impact Assessment may be required.
- c) Development proposals for health and social care facilities and infrastructure will be supported.

- d) Development proposals that are likely to have significant adverse effects on air quality will not be supported. Development proposals will consider opportunities to improve air quality and reduce exposure to poor air quality. An air quality assessment may be required where the nature of the proposal or the air quality in the location suggest significant effects are likely.
- e) Development proposals that are likely to raise unacceptable noise issues will not be supported. The agent of change principle applies to noise sensitive development. A Noise Impact Assessment may be required where the nature of the proposal or its location suggests that significant effects are likely.
- f) Development proposals will be designed to take into account suicide risk.
- g) Development proposals within the vicinity of a major accident hazard site or major accident hazard pipeline (because of the presence of toxic, highly reactive, explosive or inflammable substances) will consider the associated risks and potential impacts of the proposal and the major accident hazard site/pipeline of being located in proximity to one another.
- h) Applications for hazardous substances consent will consider the likely potential impacts on surrounding populations and the environment.
- i) Any advice from Health and Safety Executive, the Office of Nuclear Regulation or the Scottish Environment Protection Agency that planning permission or hazardous substances consent should be refused, or conditions to be attached to a grant of consent, should not be overridden by the decision maker without the most careful consideration.
- j) Similar considerations apply in respect of development proposals either for or near licensed explosive sites (including military explosive storage sites).

Policy 26: Business and industry

Policy Intent:

To encourage, promote and facilitate business and industry uses and to enable alternative ways of working such as home working, livework units and micro-businesses.

Policy Outcomes:

Recovery within the business and industry sector is sustainable and inclusive.

Investment in the business and industrial sector contributes to community wealth building.

Policy:

- a) Development proposals for business and industry uses on sites allocated for those uses in the LDP will be supported.
- b) Development proposals for home working, live-work units and micro-businesses will be supported where it is demonstrated that the scale and nature of the proposed business and building will be compatible with the surrounding area and there will be no unacceptable impacts on amenity or neighbouring uses.
- c) Development proposals for business and industry uses will be supported where they are compatible with the primary business function of the area. Other employment uses will be supported where they will not prejudice the primary function of the area and are compatible with the business/industrial character of the area.
- d) Development proposals for business, general industrial and storage and distribution uses outwith areas identified for those uses in the LDP will only be supported where:
 - i. It is demonstrated that there are no suitable alternatives allocated in the LDP or identified in the employment land audit; and
 - ii. The nature and scale of the activity will be compatible with the surrounding area.
- e) Development proposals for business and industry will take into account:
 - i. Impact on surrounding residential amenity; sensitive uses and the natural and historic environment;
 - ii. The need for appropriate site restoration at the end of a period of commercial use.

- f) Major developments for manufacturing or industry will be accompanied by a decarbonisation strategy to demonstrate how greenhouse gas emissions from the process are appropriately abated. The strategy may include carbon capture and storage.

Aberdeen LDP 2023:

Policy B1: Business and Industrial Land

The Council will, in principle, support the development of the business and industrial land allocations set out in this Plan.

Land zoned for business and industrial uses on the Proposals Map, including already developed land, shall be retained for Class 4 (Business), Class 5 (General Industrial) and Class 6 (Storage and Distribution) uses and safeguarded from other conflicting development types. Other uses which may be suited to a business and industrial location, such as car showrooms and bus depots, shall be treated on their own merits. The expansion of existing uses within these locations will be permitted in principle.

Where business and industrial areas are located beside residential areas, we will restrict new planning permissions to Class 4 (Business). Buffer zones, which are appropriately sized and landscaped, may be required to separate these uses and safeguard residential amenity. Low amenity 'bad neighbour' uses must have regard to surrounding uses and their potential impact on the environment and existing amenity. In all cases, conditions may be imposed restricting levels of noise, hours of operation and external storage.

New business and industrial land proposals shall make provision for areas of recreational and amenity open space, areas of strategic landscaping, areas of wildlife value and footpaths, in accordance with the Open Space Strategy and any approved non-statutory planning guidance, planning briefs or masterplans. Within existing business and industrial areas, there shall be a presumption in favour of retaining green, open and landscaped spaces.

Facilities that directly support business and industrial uses may be permitted where they enhance the attraction and sustainability of the city's business and industrial land. Such facilities should be aimed at meeting the needs of businesses and employees within the business and industrial area rather than the wider area.

Policy C11: Digital Infrastructure

All new commercial development and residential development where five or more units are proposed will be expected to have access to high-speed communications infrastructure.

Policy D1: Quality Placemaking

All development must ensure high standards of design, create sustainable and successful places and have a strong and distinctive sense of place which is a result of detailed contextual appraisal.

Proposals are required to ensure:

- quality architecture, craftsmanship and materials;
- a well considered layout, including biodiverse open space, high quality public realm and landscape design;
- a range of sustainable transportation opportunities ensuring connectivity commensurate with the scale and character of the development.

Successful places will sustain and enhance the social, economic, environmental, wellbeing and cultural attractiveness of the city. Proposals will be considered against the following six essential qualities.

Distinctive
Welcoming
safe and pleasant
easy to move around
adaptable
resource efficient

A design strategy will be required to be submitted that demonstrates how a development meets these qualities. The design, scope and content will be proportionate to the scale and/or importance of the proposal.

Aberdeen Planning Guidance: Aberdeen Placemaking Process provides guidance where the production of planning briefs, development frameworks and masterplans are required.

Policy D2: Amenity

In order to ensure provision of amenity the following principles will be applied.

Development will be designed to:

- make the most of any opportunities offered by the site to optimise views and sunlight through appropriate siting, layout and orientation;
- ensure that occupiers are afforded adequate levels of amenity in relation to daylight, sunlight, noise, air quality and immediate outlook;
- have a public face to the street to ensure natural surveillance, and active street frontages;
- ensure that refuse and recycling facilities, cycle storage, low and zero carbon technology, plant and services are sensitively integrated into the design;
- ensure that external lighting minimises light spillage into adjoining areas and the sky.

Residential developments will also:

- ensure that occupiers are afforded adequate levels of privacy;
- ensure minimum standards for internal floor space and private external amenity space in terms of quantity and quality;
- provide no less than 50% usable amenity space where it is necessary to provide car-parking within a private court. Underground and/or decked parking will be expected in higher density schemes;
- ensure minimal shading of external private and public spaces;
- ensure all residents have access to usable private/ semi-private open spaces and sitting-out areas provided by way of balconies, terraces, private or communal gardens;
- have a private face to an enclosed garden or court to ensure a sense of safety and enclosure.

Further guidance can be found within Aberdeen Planning Guidance: New Developments, and Landscape

Policy D5: Landscape Design

Development proposals will be designed with an effective, functional and attractive landscape framework supported by clear design objectives. The level of detail required will be appropriate to the scale of development.

Landscape design will:

- be integrated early into the layout and design of the site, informing the spatial arrangement of both built and natural elements;
- ensure a sense of place is maintained and enhanced through an assessment of the site and its surrounding landscape/seascape/ townscape character; and sympathetically incorporate existing key characteristics and features that contribute to landscape/seascape/ townscape character;

mitigate any negative landscape and visual impacts;
ensure physical connectivity to adjoining and nearby green spaces, buildings and features;
maximise adaptation and resilience of the built and natural environment to the effects of climate change, and mitigate the impacts of climate change;
protect and enhance biodiversity by designing the spatial arrangement of new and existing habitats to maximise connectivity between habitats within and around the site, including the design of SuDS, and through the careful use of informed habitat creation and planting design techniques;
impact positively on health and wellbeing; ensure active travel routes and areas of recreational / open space are designed to be well connected, inclusive and safe; and help to mitigate air, light and noise pollution.
be designed for low maintenance where feasible and appropriate to the design objectives.

Applications for new development must include a statement of landscape design objectives, hard and soft landscape design plans and specifications, and detailed maintenance proposals.

Further guidance can be found in the Aberdeen Planning Guidance: Landscape.

Policy H3: Density

The Council will seek an appropriate net density of development on all housing allocations and windfall sites. Net dwelling density includes those areas which will be developed for housing and directly associated uses, including access roads within the site, garden ground and incidental open space. For all residential developments over one hectare, the net density of new development is generally sought at no less than 50 dwellings per hectare. This is to achieve efficient use of land in terms of the scale and layout of the site and its context. Higher densities are expected within the city centre, in and around town centres, public transport nodes and on brownfield sites.

Policy H4: Housing Mix and Need

Housing developments of larger than 50 units are required to achieve an appropriate mix of dwelling types and sizes, in line with a masterplan. This mix should include smaller 1 and 2 bedroom units and should be reflected in both the market and affordable housing contributions.

An appropriate housing mix is expected in housing developments to reflect the diverse housing need in the area; this includes older people and disabled people. Where possible, housing units should demonstrate a design with accessibility and future adaptability in mind.

For smaller developments (fewer than 50 units), a suitable mix of dwelling types and tenure will be provided in the interests of placemaking and local housing need and demand.

Policy H5: Affordable Housing

Housing developments of five homes or more are required to contribute no less than 25% of the total number of homes as affordable housing.

Affordable housing requirements will be delivered on-site. Off-site provision of affordable housing requirements will only be considered where there is sufficient justification. Commuted Payments will only be accepted in certain circumstances, as set out in the Aberdeen Planning Guidance.

Housing development for occupation by 'Key Workers' will be supported in principle, with further advice set out in Aberdeen Planning Guidance.

Policy I1: Infrastructure Delivery and Planning Obligations

To create sustainable communities, development must be supported by the required infrastructure, services and facilities to deliver the scale and type of developments proposed. Where development either individually or cumulatively will place additional demands on community facilities or infrastructure that would necessitate new facilities or exacerbate deficiencies in existing provision, the

developer will be required to meet or contribute to the cost of providing or improving such infrastructure or facilities.

Infrastructure requirements relating to Masterplan Zone sites and other allocated sites outwith the Masterplan Zones are set out below. Actions for delivering infrastructure are described in the Local Development Plan Delivery Programme. Infrastructure requirements and the level of contributions will be required to be agreed with the Council in consultation with the accompanying Supplementary Guidance.

The precise level of infrastructure requirements and contributions will be agreed with the Council, and in consultation with other agencies where appropriate. The level of provision or contribution required will relate to the development proposed either directly or to the cumulative impact of development in the area and be commensurate to its scale and impact.

Masterplans will be expected to reflect the infrastructure requirements and contributions identified and should include a Delivery Statement setting out details of how the proposed development and supporting infrastructure will be delivered.

Depending on the scale of development proposed, developers shall have the opportunity to mitigate the impact of their development through the provision of new infrastructure in compliance with other relevant Local Development Plan policies. Otherwise the impact of development shall be mitigated through financial contributions that shall be used by the Council to deliver new or expand existing infrastructure and facilities.

Policy NE2: Green and Blue Infrastructure

Green Space Network

Development proposals will seek to protect, support and enhance the Green Space Network (identified on the Proposals Map). This broadly encompasses the wildlife, biodiversity, ecosystem services & functions, access, recreation, landscape and townscape value of the Green Space Network. Development that does not achieve this will not be supported.

Coherence of the Green Space Network should also be maintained when considering any development and infrastructure proposals. Where infrastructure projects or certain developments necessitate crossing the Green Space Network, they should maintain and enhance the coherence and quality of the network. In doing so, appropriate provision should be made for access across roads for wildlife and outdoor recreation.

Masterplans will determine the location, extent and configuration of the Green Space Network within the area, and its connectivity with the wider network.

Urban Green Space

We will protect, support and enhance the city's Urban Green Space (parks, playing fields, sports pitches, outdoor sport facilities, woods, food-growing spaces, or all other areas including smaller spaces not identified on the Proposals Map such as amenity space or garden ground). Development proposals that do not achieve this will not be supported.

Exceptions may be made when a suitable alternative and equally convenient and accessible area for public space is provided by the applicant for Urban Green Space purposes, for example through the replacement of school buildings, within the locality of the site. Where proposals would affect an outdoor sports facility, development may also be acceptable where it would be ancillary to and/or not affect its current and potential principal use for sport and training; or a clear excess of provision is demonstrated. In all cases, development will only be acceptable if it meets criteria set out in the Aberdeen Planning Guidance: Open Space and Green Infrastructure.

Open Space in New Development

We will require the provision of biodiverse, usable and appropriate open space in new developments to ensure functionality. Please see Aberdeen Planning Guidance: Open Space and Green

Infrastructure for information on how to calculate open space requirements, as well as different types of provision (including food-growing) and the expected accessibility and quality standards.

We will seek open space provision in all developments, including on brownfield sites. It may not be possible to increase the amount of open space on some brownfield sites, for example where existing buildings on the site are being retained. In these cases, appropriate design solutions to deliver on-site amenity will be sought in the first instance and commuted sums towards off-site provision or enhancement of existing open spaces will be sought where appropriate.

In areas where the Open Space Audit has shown that there is opportunity for improvement of existing open space, contributions may be sought to enhance existing provision instead of new provision being required. The Open Space Audit and Strategy provides details of any improvements or enhancements that may be required to open spaces in different areas of the city, and how the linkages between them may be improved. Further guidance is included in Aberdeen Planning Guidance: Open Space and Green Infrastructure.

Outdoor Access and Core Paths

New development will maintain and enhance the integrity of existing access rights to; land and water, Core Paths, other paths and rights of way, or safeguard potential access opportunities to these. This includes any impacts on access during the construction, operation, decommissioning and reclamation phases of development.

In exceptional circumstances routes may be affected by development. In these cases it will be necessary to maintain their condition, enhance their amenity value, or provide an alternative path or access (which links the same locations) that is safe, high quality and convenient for the public to use.

Development proposals should include new or improved provision for public access, permeability, and links to the core path network and green spaces for recreation and active travel within their design. We may seek Developer Obligations for Core Paths where appropriate. Further information about the standards of infrastructure required are set out within Aberdeen Planning Guidance: Open Space and Green Infrastructure.

Policy NE4: Our Water Environment

Flood Risk & Management

Development will not be supported if:

1. It increases the current and/or future risk of flooding on site or elsewhere
 - a) by reducing the ability of the functional flood plain to store and convey water; or
 - b) through the discharge of additional surface water; or
 - c) by harming flood defences;
2. It would be at risk of flooding itself; or
3. Adequate provision is not made for watercourses to be maintained as or restored to naturalised channels wherever possible with riparian buffer strips including for maintenance access and erosion prevention; or
4. It would require the construction of new or strengthened flood defences unless flood protection measures to an appropriate standard are a planned measure in a current flood risk management plan.

The piecemeal reduction of functional floodplains will be avoided. Development on the functional floodplain will only be considered where its location is essential for operational reasons and for water compatible uses. Development must be designed and constructed to remain operational during floods and not to impede water flow. Measures to protect against or manage flood risk will be required and any loss of flood storage capacity mitigated to achieve a neutral or better outcome.

Applicants will be required to provide a Flood Risk Assessment where a development may result in a material increase in the number of buildings at risk of flooding, area of land at risk of flooding, if there is an increase in land use vulnerability compared to the existing land use, or where it has been

indicated in the opportunity sites schedule that one will be prepared. Potential flood risk is determined by a screening process, including consideration of the indicative flood risk maps produced by the Scottish Environment Protection Agency (SEPA) and the Council's Strategic Flood Risk Assessment.

There is a presumption against excessive engineering and culverting of waterbodies. Natural treatments of floodplains and other water storage features will be preferred wherever possible and supported by a flood risk assessment. There will be a requirement to restore existing culverted or canalised water bodies to a naturalised state where this is possible and supported by a flood risk assessment. Where the Council agrees that culverts are unavoidable for technical reasons, they should be designed to maintain existing flow conditions and aquatic life. Any proposals for new culverts should have a neutral impact on flood risk as demonstrated in a flood risk assessment and be linked to long term maintenance arrangements to ensure they are not the cause of flooding in the future.

Foul Drainage & Water Quality

Connection to the public sewer for foul drainage will be a prerequisite of all development where this is not already provided. Private wastewater treatment systems within the settlement boundary will not be permitted.

Surface Water Drainage

All new developments are required to incorporate SuDS to manage surface water, with the exception of single dwellings/extensions to residential properties or discharges to coastal waters. For change of use and/or redevelopment, opportunities should be sought to retrofit SuDS where appropriate.

SuDS components need to be selected based on specific site opportunities and constraints and provision should be addressed as part of a Drainage Impact Assessment (DIA) which details how surface water quality and quantity will be managed. DIAs will be required for new development proposals of 5 or more homes or 250 square metres non-residential floorspace. DIAs will also be required if the proposal falls within a sensitive area (identified in the TAN).

Aberdeen Planning Guidance: Flooding, Drainage and Water Quality provides further information on flooding and drainage.

Coastal Development

Development will not be supported in undeveloped coastal areas (shown on the Proposals Map). Exceptions to this general presumption will be considered where the proposal:

1. Is dependent on that coastal location given the purpose and operation of the development; and
2. There is no other suitable site, including brownfield land; and
3. It respects the character and value of the landscape, the natural and historic environment, and the recreational value of the surrounding area; or
4. There is an overriding environmental benefit from the proposal.

The exceptions listed above, where considered acceptable in principle must also meet all of the following criteria:

1. The development must not be located in an area at risk of coastal erosion or flooding (as demonstrated in a topographical survey showing that the development lies above the 200 year flood level plus additional allowances for climate change and freeboard);
2. Public access to and along the coast must be protected and promoted wherever possible; and
3. Where marine noise modelling is deemed necessary by the Council or key agencies, it must be demonstrated that adverse impacts on bottlenose dolphins, Atlantic salmon, and any other protected species will be avoided

Policy NE5: Trees and Woodland

Development should not result in the loss of, or damage to, trees and woodlands.

Development proposals will seek to increase tree and woodland cover and achieve the long-term retention of existing trees and woodlands that the planning authority consider worthy of retention. Particular emphasis is placed on the protection and ongoing management of Ancient Woodlands. Where tree removal takes place or is necessary for good arboricultural reasons, replacement planting will be required to ensure an overall net gain in tree cover. Development that does not achieve this will not be supported.

Buildings and infrastructure should be sited to allow adequate space for a tree's natural development, taking into account the predicted mature height, canopy spread and future rooting environment.

Where applicable, root protection areas should be established, and protective barriers erected prior to any work commencing. See relevant Aberdeen Planning Guidance for more information.

Policy R2: Degraded and Contaminated Land

The Council will require that all land that is degraded or contaminated, including visually, is either restored, reclaimed or remediated to a level suitable for its proposed use. This may involve undertaking site investigations and risk assessments to identify any actual or possible significant risk to public health or safety, or to the environment, including possible pollution of the water environment, that could arise from the proposals. Where there is potential for pollution of the water environment the Council will liaise with SEPA. The significance of the benefits of remediating a contaminated site, and the viability of funding this, will be taken into account when considering proposals for the alternative use of such sites.

Policy R5: Waste Management in New Developments

All new developments should have sufficient space for the storage of general waste, recyclable materials and compostable wastes where appropriate.

Flatted developments will require communal facilities that allow for the separate storage and collection of these materials. Recycling facilities should be provided in all new superstores or large supermarkets and in other developments where appropriate. Details of storage facilities and means of collection must be included as part of a planning application for any development which would generate waste. Further details are set out in Aberdeen Planning Guidance: Waste Management Requirements for New Development.

For proposals where we believe the potential savings on construction or demolition materials for recycling or reuse is likely to be significant, we will ask developers to prepare a Site Waste Management Plan as a condition of planning consent.

Policy R6: Low and Zero Carbon Buildings, and Water Efficiency

All new buildings will be required to demonstrate that a proportion of the carbon emissions reduction standard set by Scottish Building Standards will be met through the installation and operation of low and zero carbon generating technology. The relevant Building Standards and percentage contribution required is set out in Aberdeen Planning Guidance. The Aberdeen Planning Guidance will be kept under review to ensure the proportion of the carbon emissions reduction standard to be met by these technologies will increase over time.

This requirement does not apply to:

1. Alterations and extensions to buildings; or
2. Change of use or conversion of buildings; or
3. Ancillary buildings that are stand-alone having an area less than 50 square metres; or
4. Buildings which will not be heated or cooled, other than by heating provided solely for the purpose of frost protection; or
5. Buildings which have an intended life of less than two years.

To reduce the pressure on water abstraction from the River Dee, and the pressure on water infrastructure, all new buildings are required to use water saving technologies and techniques. The level of efficiency required, and types of efficiencies are detailed in Aberdeen Planning Guidance.

Further guidance on compliance with this policy is contained in Aberdeen Planning Guidance: Resources for New Developments.

Policy T2: Sustainable Transport

Proportionate to the scale and anticipated impact, new developments must demonstrate that sufficient measures have been taken to minimise traffic generated. New developments must be accessible by a range of transport modes, with an emphasis on active and sustainable transport, and the internal layout of developments must prioritise walking, wheeling, cycling and public transport. Proposals should be designed to allow for public transport penetration which should be available within 400 metres from the centre of the development.

Transport Assessments and Travel Plans will be required where thresholds set out in Aberdeen Planning Guidance are exceeded.

Where sustainable transport links to and from new developments are not in place, developers will be required to provide infrastructure to support such facilities or a suitable contribution towards implementation.

Development of new communities should be accompanied by an increase in local services as well as employment opportunities that reduce the need to travel.

Recognising that there will still be instances in which people will require to travel by car, initiatives such as car sharing, alternative fuel vehicles and Car Clubs will also be supported where appropriate.

Existing access rights, including Core Paths, rights of way and paths within the wider network will be protected and enhanced. Where development proposals impact on the access network, the principle of the access must be maintained at all times by the developer through provision of suitable alternative routes approved by the Council.

Further information is contained in the relevant Aberdeen Planning Guidance which should be read in conjunction with this policy.

Policy T3: Parking

City Centre

Within the City Centre boundary – as specified in the Proposals Map – the principle of ‘zero parking’ shall be applied with respect to all new development. Limited vehicle parking will only be permitted when demonstrated as necessary for the servicing/operation of businesses and buildings, and for customer drop off/pick up arrangements. Where possible, such parking should preferably be provided at basement level within buildings and not on ground or street level where this would be at the expense of an active frontage onto a public street, public space or private open space. The needs of disabled people will be considered for all proposals.

Inner and Outer City

In inner city areas, low or no car development will be supported in suitable locations where there is adequate access to active travel and public transport options. Where this is not possible, development shall be required to comply with the parking standards set out in Aberdeen Planning Guidance: Transport and Accessibility. Low car development is encouraged within conservation areas.

Alternative Fuel Vehicle Infrastructure

Where residential parking is permissible, new developments are required to install appropriate electric vehicle charging infrastructure either in the form of active or passive provision. Details of requirements for all parking facilities at non-residential developments should include the provision of charging

stations for electric vehicles. Ratios and requirements for electrical vehicle charging are set out in Aberdeen Planning Guidance: Transport and Accessibility.

Cycle Parking Developments should include covered and secure cycle parking facilities in accordance with the standards set out in Aberdeen Planning Guidance: Transport and Accessibility.

New Parking

Proposals for car parking that are not directly related to new developments will not be supported.

Policy WB1: Healthy Developments

Developments are required to provide healthy environments, reduce environmental stresses, facilitate physical activity and promote physical and mental wellbeing.

National and major developments, and those requiring an Environmental Impact Assessment must submit a Health Impact Assessment (HIA) to enhance health benefits and mitigate any identified impacts on the wider determinants of health; this may involve planning obligations.

Further guidance can be found in Aberdeen Planning Guidance: Health Impact Assessments.

Policy WB3: Noise

In cases where significant exposure to noise is likely to arise from development, a Noise Impact Assessment (NIA) will be required as part of a planning application.

There will be a presumption against noise generating developments, as identified by a NIA, being located close to noise sensitive developments, such as existing or proposed housing, while housing and other noise sensitive developments will not normally be permitted close to existing noisy land uses without suitable mitigation measures in place to reduce the impact of noise to an acceptable level.

Development within or near to Noise Management Areas (NMAs) and Quiet Areas (QAs) will not be permitted where this is likely to contribute to a significant increase in exposure to noise or a deterioration of noise conditions in these areas, or where this will reduce the size of, or cause an increase in the noise level within, the QA.

Further information on NIAs, NMAs and QAs, including maps of these areas, can be found in the relevant Aberdeen Planning Guidance which should be read in conjunction with this policy.